



**AGENDA**  
**PLANNING AND ZONING COMMISSION**  
**WEDNESDAY, January 21, 2026**  
**7:00 PM**  
**Town Council Chambers, 505 Silas Deane Highway**

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<b>Chairman</b>	Joseph Hammer	<b>Members:</b>	Christopher Brechlin	<b>Alternates:</b>	Joseph Ercolani
<b>Vice Chairman</b>	Peter Leombruni		Tom Dean		Anna Laurie
<b>Clerk</b>	Anthony Homicki		David Drake		Paul Thompson
			Dave Edwards		
			Tracy Gionfriddo		
			Richard Roberts		

**1. CALL TO ORDER**

**1.1 ROLL CALL & SEATING OF ALTERNATES** (5 members required for a quorum)

**2. OLD BUSINESS**

**2.1 Public Hearing #2223-25-Z**, seeking a Special Permit in accordance with Section 5.14 of the Wethersfield Zoning Regulations for the adaptive re-use of industrial building for Warehouse Supermarket use, located at 1000 Silas Deane Highway. (Continued from 11/18/2025)

**2.2 Public Hearing #2104-22-Z**, 245 Main Street, seeking a Change of Use to Professional Office and Personal Services, and Parking Reduction and Modification, per sections 10.1.C.13, 10.1.D.E, and 6.2.C, D, submitted by 245 Old Wethersfield LLC. (Continued from 1/6/2026)

**3. NEW BUSINESS**

**4. OTHER BUSINESS**

**5. MINUTES**

**5.1** January 6, 2026

**6. PUBLIC COMMENT** (On Non-Agenda Items)

**7. CORRESPONDENCE**

**8. STAFF REPORTS**

**9. APPLICATIONS RECEIVED TO BE HEARD AT FUTURE MEETINGS**

**10. ADJOURNMENT**

If you wish to review the applications on file, please email [planning@wethersfieldct.gov](mailto:planning@wethersfieldct.gov), or call 860-721-2838 or visit the Community Development Office. (To submit comments or emails, the deadline is 3:00 p.m. on the day of the meeting. Please include your name and address as it will be read into the record). The meeting packet including application materials will also be posted on the Town website at <https://Wethersfieldct.gov> under [Key links - Agendas & Minutes](#).



**WETHERSFIELD**  
**ECONOMIC & COMMUNITY DEVELOPMENT**  
Planning@wethersfieldct.gov  
**(860) 721-2838**

OFFICE USE ONLY

**RECEIVED**

Date Received OCT 14 2025

Application No. 2223-25-C  
11/18/25 PH

**LAND USE APPLICATION**

**Applicant' Name:** KCH TRADING INC Phone Number: 516-233-4466  
**Address:** 1000 Silas Deane Hwy, Wethersfield, CT 06109  
 E-Mail kenfoods@gmail.com

**Property Owner:** KCH TRADING INC Phone Number: 516-233-4466  
**Address:** 1000 Silas Deane Hwy, Wethersfield, CT 06109  
 E-Mail kenfoods@gmail.com

**Property Address:** 1000 SILAS DEANE HWY  
 Zoning District: RC Map/Block/Lot # 240 005

Is the Property Located within 500 feet of another municipality? Yes  No

<b>Type of Application: (Check box)</b>	<b>FEE:</b>
<input checked="" type="checkbox"/> Special Permit	\$200* Plus \$25/1,000 s.f. GFA Or \$25/dwelling unit
<input type="checkbox"/> Site Plan and Design Review	\$200* Plus \$25/1,000 s.f. GFA Or \$25/dwelling unit
<input type="checkbox"/> Minor/Amended Site Plan	\$100*
<input type="checkbox"/> Subdivision Approval/Re-Subdivision Approval	\$200* and \$50/Lot
<input type="checkbox"/> Zoning Text Amendments	\$250
<input type="checkbox"/> Change of Zone	\$250*
<input type="checkbox"/> Lot Splits/First Cut	\$100
<input type="checkbox"/> Other (Specify) _____	

*Pd CK# 3003  
 10/10/25 Lmr  
 \$ 3,148.00  
 CK# 3278  
 \$500 Sign Dep.*

\* An additional \$60 State Fee is required for these applications. If a Public Hearing is required an additional \$50 sign deposit fee is required. All checks should be made payable to "Town of Wethersfield".

I am requesting approval for a Special Permit under the provisions of Section 5.14 of the Wethersfield Zoning Regulations. The application is further defined as:  
Adaptive re-use of industrial building for Warehouse Supermarket use

Please submit six (6) paper copies of this application with all data and maps and one (1) electronic/digital PDF of the application, plans and supporting information.

I hereby certify that the above information and plans submitted are true and correct. The undersigned hereby authorizes this application and agrees that Town staff and members of the Commission have the right to enter the subject property for the purposes of inspection associated with this application.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT(S)

\_\_\_\_\_  
 SIGNATURE OF PROPERTY OWNER (S)  
 (Or attach purchase/lease agreement or letter consenting to this application)

## **USE DESCRIPTION**

### **PROPOSED WAREHOUSE SUPERMARKET USE 1000 SILAS DEANE HIGHWAY KCH TRADING, INC. APPLICATION #2223-25-Z**

This describes the use proposed in the captioned application. References to the special permit criteria stated in Article VIII of the Wethersfield Zoning Regulations are included.

1000 Silas Deane Highway contains approximately 3.5 acres and an existing building comprising approximately 104,690 square feet of floor space on two levels. It was a former food processing facility operation and, briefly, a bottling plant. It was unused for many years and has fallen into a state of disrepair.

The applicant seeks a special permit to adapt the existing building for a “Warehouse Supermarket” use pursuant to newly-enacted Section 5.14 of the Regulations. That section is designed to facilitate reuse and rehabilitation of former industrial properties in the Regional Commercial Zone, which encompasses much of the southern portion of the Silas Deane Highway corridor. It does this by relaxing the parking requirements otherwise required for retail uses – which former industrial buildings plans the Silas Deane Highway often cannot satisfy – in recognition of the unique nature of a Warehouse Supermarket use. In this way, a deteriorated building in a highly visible location, such as 1000 Silas Deane Highway, can be rehabilitated and its appearance significantly enhanced to the benefit of the town. This is what the applicant proposes to do.

The proposed use is in harmony with the predominant retail and commercial nature of the surrounding area. The existing building is compatible with the neighborhood, which contains several similar buildings. The appearance of the subject building will be significantly enhanced.

*See* Zoning Regulations §§ 8.1 (suitable location) and 8.2 (neighborhood compatibility).

Significant new landscaping, hardscape and architectural enhancements will also be provided.

The value of surrounding properties will be enhanced. *See* § 8.3 (structure and landscaping).

The site is located on a major state highway that is designed to handle large traffic volumes. Due to the nature of the proposed use, the traffic generated by the proposed use is not significant in the context of the existing traffic handled by the Silas Deane Highway, and its parking needs are far less than those of a typical retail use. The applicant formerly operated a similar business on Long Island and thus has an understanding of the nature of the anticipated customer base. The reason that the use will generate significantly less traffic than other retail uses is that the applicant's customer base will consist of restaurants as well as household consumers. Restaurant customers buy in much larger volumes per visit and many will have products delivered by the applicant. (The applicant owns three box trucks, approximately 22 feet in length, for this purpose.) Restaurant customers who pick up products at the store will use vans, pick-up trucks and other personal vehicles. The applicant expects only about 100 customers per day. Based on the applicant's prior experience, approximately 80-85 percent of its customers will shop between 11:00 a.m. to 4:00 p.m., i.e., outside of rush hours.

Tractor-trailer deliveries will occur only before the store opens in the morning, so there will be no conflict with customer traffic. The applicant will delay opening until 10:00 a.m. to assure that the deliveries are completed before customers arrive. (The store will close at 7:00 p.m.) Trucks will enter only at the northerly of the two curb cuts, which will be in-only to avoid conflicts with its northerly neighbor, which has designated its adjacent access point as in-only.

The front portions of both the subject property and the neighboring property to the north contain adjacent paved driveways with no dividing curb or median, and both properties share a

curb cut. Both the shared curb cut, and the adjacent connected driveways have sufficient width to allow vehicles to enter 1000 Silas Deane Highway at the northerly curb cut and then drive to the rear of the building without entering onto the adjacent property or conflicting with the neighbor's traffic. The site plan demonstrates adequate room for all required tractor-trailer turning movements within the site. Employees will park in the spaces along the northeast part of the building. *See* § 8.5 (circulation).

The site is served by water, sewer and all other public utilities. It is not in an area subject to wetlands regulations. Impervious coverage is being reduced, and new storm water management facilities will be constructed, so that storm water management and water quality will be improved, all as shown in the applicant's drainage report. *See* §§ 8.6 (public utilities) and 8.7 (environmental protection and conservation).

The use and structures are consistent with objectives of the Zoning Regulations and the Plan of Conservation and Development. The use is consistent with the desired regional commercial orientation of the Regional Commercial Zone. The proposed adaptive re-use will enhance the appearance of the Silas Deane corridor with no detrimental effects on public health, safety and welfare of property values. The site will be appropriately lit. The site is well served by public transit. *See* §§ 8.8 (consistency with purposes of regulations and POCD) and 8.9 (other considerations).

The proposed use furthers many of the objectives of 2013 Plan of Conservation and Development specific to the Silas Deane Highway. These include encouraging redevelopment of the Silas Deane Highway, beautification, facade improvement and "flexible zoning . . . whereby

January 15, 2026

**VIA EMAIL (david.elder@wethersfieldct.gov)**  
**AND U.S. MAIL**

Wethersfield Planning & Zoning Commission  
c/o David Elder  
Town Planner  
Town of Wethersfield  
505 Silas Deane Highway  
Wethersfield, CT 06109

Re: Application # 2223-25-Z  
Applicant: KCH Trading, Inc., 1000 Silas Deane Highway

Dear Mr. Elder:

This lists what I believe to be the record documents to date (excluding this letter and superseded plans, drawings and reports). A chronology of events is also provided.

*Operative record documents to date:*

1. Application, September 20, 2025.
2. Site plan drawing set revision #2 revised to January 9, 2026.
3. Architectural drawing set revised to January 8, 2026.
4. Architectural renderings, December 16, 2025.
5. Revised stormwater memo with attachments, January 7, 2026.
6. Structural report, October 2, 2025.
7. Special permit narrative.
8. Text amendment effective June 25, 2025.
9. Engineering Department report, November, 11 2025.
10. Engineering Department report, December 30, 2025.
11. Fire Marshal report, November 26, 2025.
12. Freeman Companies' response regarding engineering comments, January 9<sup>th</sup>, 2026.
13. Applicant extension of time and status summary, 12/12/25

*Chronology:*


9/20/25: Application filed  
10/24/25: Revised plan set submitted  
11/11/25: Engineering Department comments issued  
11/18/25: Initial public hearing

Mr. Elder  
December 12, 2025  
Page 2

11/19/25: Design Review Advisory Committee application heard. Favorable recommendation given, subject to certain suggestions.  
11/26/25: Fire marshal report issued, stating "...plans appear meet the requirements of the Department" along with other comments.  
12/7/25: Revised site plan set submitted.  
12/12/25: Applicant submits letter granting 29-day extension of statutory time limits, through 1/21/26, leaving 36 additional days of extensions available per CGS section 8-7d.  
12/30/25: Further engineering comments issued.  
1/6/26: Applicant team and engineering staff meet virtually to assure that final plan set addresses all remaining engineering staff comments.  
1/9/26: Further revised plan set submitted, addressing all remaining engineering staff comments and DRAC suggestions.

Please let me know if any additional information would be helpful.

Very truly yours,

  
David S. Hoopes

cc: Ken Zhang (via email [kenfoods@gmail.com](mailto:kenfoods@gmail.com))  
Yanan Wu (via email [ywu@freemancos.com](mailto:ywu@freemancos.com))  
Simon Zhang (via email [szhang@xzarch.com](mailto:szhang@xzarch.com))

**Town of Wethersfield**  
**Engineering Department**  
505 Silas Deane Highway, Wethersfield, CT 06109  
Phone: (860) 721-2850 Fax: (860) 721-2843

**MEMO**

**Date:** December 30, 2025

**To:** Planning and Zoning Commission

**From:** Derrick Gregor, Town Engineer *DG*  
Lawrence Capuano, Civil Engineer *LC*

**CC:** David Elder, Town Planner  
Sean Hussey, Building Official  
Anthony Dignoti, Asst. Fire Chief/Fire Marshal  
Curt Leng, Economic Development Manager  
Charles Morrison, ZEO/PMO  
Ken Zang, Property Owner

**Subject:** PZC Review  
KCH Trading Inc. (Application #2223-25-Z)  
1000 Silas Deane Highway  
Plan Set (16 Sheets) titled "1000 Silas Deane Highway, Wethersfield, Connecticut 06109, For Special Permit and Site Plan and Design Review" revised December 05, 2025, prepared by Freeman Companies  
Stormwater Management Narrative revised December 05, 2025, prepared by Freeman Companies

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The following comments are based on a review of the materials submitted for the above-referenced application. I recommend that the applicant contact me at 860-721-2855 or at [lawrence.capuano@wethersfieldct.gov](mailto:lawrence.capuano@wethersfieldct.gov) if they have any questions or wish to meet to discuss the comments outlined herein.

1. Provide documentation that this property has rights to install the proposed drainage system located on Eversource property to the east.
2. Access rights must be provided in favor of 974-990 Silas Deane Highway for the northern driveway apron. Add associated notes to the plan set.
3. Revise the drainage maps included in the Stormwater Management Narrative to reflect the updated drainage system layout.
4. Since the drainage system layout has been updated to have one water quality unit that receives all of the stormwater on-site, revise the water quality calculations to include the entire site area, and update the impervious area.
5. Provide additional spot grades for curbing, particularly along the sidewalks and ramps west of the building near handicapped parking, and the parking row along the western property line.

6. Provide a second pedestrian crossing sign in the island just north of the main entrance, for cars traveling north towards the pedestrian walkway. Since ConnDOT sign 41-2112 is for school crossings, revise this to be ConnDOT sign 41-4829 in the sign schedule on Sheet C-702.
7. As stated in previous memos, provide size and material of all existing and proposed utilities on the Utility Plan.
8. Identify where the fire line connects to the building on Sheet C-400.
9. On Sheet C-601, several of the light fixtures along the eastern property line are in parking spaces, rather than the parking islands. Revise accordingly.
10. Provide details and/or cut sheets of the light fixtures proposed for the site.
11. Update Utility Note 1 on Sheet GN-100 to state that permits are to be obtained from CT DOT and MDC rather than the Town of Wethersfield.
12. Revise any references to the CT DOT Specification Form 818 to Form 819 on Sheet GN-100.
13. Revise any references to the Connecticut Guidelines for Soil Erosion and Sediment Control to the most recent edition on Sheet GN-100.
14. Remove the "For Permitting" note on all sheets. Add the standard Planning and Zoning Commission Approval Block to all sheets in the plan set.



## **Plan Review Comments**

**Date: November 26, 2025**

**Project: KCH Trading  
Location: 1000 Silas Deane Hwy**

**Type of plan: Proposed Mercantile**

**Reviewer: Anthony Dignoti**

The business continues to operate as a non-approved mercantile occupancy. This office has a long-standing case against the owner for violating fire code requirements. The following outlines the history of the owner not complying with the requirement for the fire safety code and fire prevention code.

Prior to 1/6/2016 the building was a vacant manufacturing/warehouse facility owned by a different owner. The building was treated as a vacant building under the fire code. The owner was maintaining the building's fire sprinkler system to protect the building.

1/6/2016 this office received a notification from the MDC that the owner had requested that the fire sprinkler system be shutdown to the building. The MDC went out to the building and shutdown the fire protection water service to the building. This office reached out to the previous owner who informed us that he could no longer afford to heat the building so he was going to shutdown the heat and fire sprinkler system.

10/25/2018 I met on site with a prospective buyer for the building along with a representative of the previous owner for a possible sale of the building. The sale never went through.

9/27/2022 information was received from a local telephone vendor that the building was re-occupied. On this date an inspection was performed it was found that the building was being used as a storage/warehouse facility for food items.

10/7/2022 an inspection of the building was conducted and numerous violations of the fire safety code and fire prevention code were found. Including lack of a working fire sprinkler system, fire alarm system, high pile storage and lack of emergency lighting. On this same day an abatement order was issued.

11/9/2022 I met with a fire sprinkler contractor to review the work that needed to be completed to put the fire sprinkler system back into service. Due to the fact that the building was vacant for many years without heat, a large section of the fire sprinkler system became damaged and needed to be replaced.

11/22/2022 a Time Extension under fire code requirements was filed by the owner to give him more time to comply with the abatement order from 10/7/2022.

12/14/2022 a re-inspection was held and it was found that emergency lighting had been repaired and some improvement was made with the high pile storage issues.

2/28/2023 a permit was issued to repair and upgrade the fire sprinkler system.

3/21/2023 the sprinkler system was tested and back in service.

From this time forward, occasional contacts were made with the owner and visits to the building. The building did meet the minimum requirement for a storage facility under the fire code. The zoning official still had a case against the owner for zoning violations.

5/24/2023 a permit was approved to for a new roof over a portion of the building.

9/12/2023 Conducted a re-inspection to check on conditions, storage seemed to be acceptable and also found that the MDC had shutdown domestic water to the building.

1/10/2024 Fire department dispatched to building. Workers working on roof broke a fire sprinkler pipe in main section of warehouse causing water damage. Once again, the sprinkler system had to be repaired.

12/11/2024 Based on information received from the zoning officer, the building was now being used as mercantile occupancy. An inspection was conducted and it was found that display cases and smaller refrigeration units had been installed and food items were found be sold in a "retail" type manor. A Directive 10 order was issued for the occupants to vacate the property. The owner was advised that the building could not be used as a mercantile occupancy.

12/11/2024 an abatement order was issued citing the building being used as a mercantile occupancy.

12/16/2024 Inspector Mokrycki went out to the building and observed numerous vehicles in the parking lot and people exiting the building with groceries. Ken the owner claimed the people were friends of his. Ken had posted signs on the exterior that the building was not open to the public. Ken would not let Inspector Mokrycki into the building.

12/20/2024 Inspector Flynn went to the building and observed staff from the business bringing out groceries from the building and loading cars with customers inside of the vehicles. Ken the owner claimed that people were calling in orders and were not entering the building, staff would deliver the items to their vehicles.

12/23/2024 A meeting was held with town staff, Ken the owner and his engineer. Preliminary plans were reviewed on the proposal to turn the building into a mercantile occupancy.

12/26 12/27/2024, and 1/2/2025 Inspector Flynn went out to the site to determine if the public was entering the building. Nothing was found.

1/7/2025 Meeting was held with town staff and town attorney to discuss the case.

2/3/2025 Met with sprinkler contractor and owner to review additional sprinkler work needed.

2/10/2025 I went out to the site and did not observe any customers entering the building.

2/11/2025 Email sent to State Consumer protection and health department regarding the retail use of the building.

2/13/2025 I witnessed people driving out from the rear of the property with bags of groceries in their vehicles. Ken the owner denied that the people entered the building.

2/25/2025 I went out to the building along with the State Consumer protection and health inspectors. Ken the owner denied us entry into the building.

3/6/2025 I received information that there was a large oil spill in the parking lot to the rear of the building. DEEP was notified. Upon arrival of DEEP we spoke with the owner Ken and explained the situation and what needed to be done. As we walked along the exterior on the northside of the building which I did not have access to previously. We found other hazardous items including propane cylinders. We found a garage door in the lower level on the north side (this is an area that I had never accessed or knew about) there we found two very old ammonia tanks which were probably left over from the previous food processing company which occupied the building over 20 years ago. Also, other hazardous items were found in this area.

3/7/2025 Inspector Flynn met on site with DEEP and cleanup contractor for clean up of oil spill and removal of hazardous items.

3/10/2025 an abatement order was issued to Ken the owner. The abatement order was sent to the Town Attorney for legal actions.

3/18 and 3/26/2025 Inspector Mokrycki went out to the site to monitor the cleanup of the hazardous items.

4/14/2025 a re-inspection was conducted and progress was noted on the violations from the 3/10/2025 abatement.

4/21/2025 I met with fire alarm contractor to review scope of work for new fire alarm.

5/9/2025 Inspector Mokrycki went to the site but was denied entry based on the owner Ken being out of State.

5/12/2025 I met with sprinkler contractor to review scope of work for upgrades to fire sprinkler system

6/18/2025 another re-inspection to check on progress of violations. Advised Ken to have fire sprinkler and fire alarm contractor to provide an update on plans.

7/9/2025 Inspector Mokrycki observed the large abandon aboveground tank on site being removed from the site by a large truck. Typically, a permit is required for this type of work. Inspector Mokrycki contacted the trucking company and was able to obtain the necessary documentation of the removal

8/20/2025 Fire alarm contractor advised work would begin in September.

9/5/2025 Permit issued for fire alarm work

11/19/2025 I went out to the site to check on progress of fire alarm work, I was denied entry into the building.

11/20/2025 Inspector Mokrycki went to the site and reviewed the fire alarm work with the contractor. It also appeared that the business has expanded its retail/mercantile business. Selling even non-food items. Ken stated the fire sprinkler upgrades would begin in December.

11/25/2025 Inspectors Mokrycki and Flynn along with the contractor tested the new fire alarm system and it was found that the system met the requirements of the code.

I have found that the owner Ken has not always been cooperative with this office and has not always been truthful based on several conversations I have had with him. It appears he is running a mercantile occupancy. During our several visits to the site myself nor my staff has ever observed more than 10 people inside the building. It appears until we get cooperation out of the owner or the legal system makes a judgement this will be a case of verifying if the public is being allowed to use the building as a mercantile occupancy.

As far as the proposal submitted, the plans appear to meet the requirements for fire department access however, this office has been working for several years with the owner to bring the building into compliance as a storage facility. He complicated the matter by changing the use without any approvals. I am not sure based on the history that the owner will ever make the necessary upgrades within the building to meet the requirements of this application.



Date: 12/12/2025

**INITIAL & RETURN BY:**

1/8/26 or as workload permits

From: KVF

## INTERDEPARTMENT REVIEW CHECKLIST

Economic & Community Development Department

Town Hall, 505 Silas Deane Highway  
(860) 721-2838

**Project Address:** 1000 Silas Deane Highway

**Project Name:** Special Permit for Warehouse Supermarket Use

**Applicant:** KCH Trading Inc.

**PZC Application No.** 2223-25-Z

**PZC Meeting Date:** January 21, 2026

**Transmittal Notes:**

Revisions for the application for 1000 SDH requesting a Special Permit for the adaptive re-use of industrial building for Warehouse Supermarket use.

Planner \_\_\_\_\_

Engineering \_\_\_\_\_

Building \_\_\_\_\_

Fire \_\_\_\_\_

Zoning \_\_\_\_\_

Wetlands \_\_\_\_\_

HDC \_\_\_\_\_

CCHD I.C. 12/15/25

Police \_\_\_\_\_

**Staff Comments/Review (attach additional sheets if necessary):**

no new comments; applicant is currently going through the plan review process with CCHD. I am waiting on a revised floor plan showing the location of equipment and facilities and have been in contact with KCH Trading Inc regarding this. -Isaac Combs, RTHS/R.S.

redevelopment of properties can occur without micro-management of dimensional or other standards.”<sup>1</sup> (*See* 2013 POCD, pages 58-61).

For all these reasons, approval of this application will be of significant benefit to the town with no detrimental – but only a positive – effect on the surrounding properties, the Silas Deane corridor or the town generally.

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<sup>1</sup> This application and the new Warehouse Supermarket regulation also further several goals stated in the Fuss & O’Neill 2006 Master Plan & Design Guidelines for the Silas Deane Highway. That document identifies certain constraints on desirable redevelopment of the Silas Deane Highway, which include “underutilized land and buildings” and “current regulatory guidelines” such as “to some extent parking regulations.” See p. 4.

**STRUCTURAL REPORT**  
*FOR*

**1000 SALIS DEANE HIGHWAY**  
**WETHERSFIELD, CT 06019**

**PREPARED FOR:**

**KCH TRADING INC.**

**SUBMITTAL VERSION:**

<i>1</i>	<i>10/2/2025</i>
<i>2</i>	
<i>3</i>	
<i>4</i>	

**PREPARED BY:**

**WANLONG HE, PE, PHD**



**HWL ENGINEERING P.C.**

## STRUCTURAL REPORT

**1000 Silas Deane Highway, Wethersfield, CT, 06109.**

### 1. INTRODUCTION

Per request from the property owner, we visited site and inspected portion of the building of concern on September 6, 2025. The portion of building was inspected is shown in key plan Drawing No. S-01. This part of the building is one-story with masonry exterior wall and metal roof deck over steel framing. As per historical record, this part of the building was erected in 1970s, which was used as boiler room. There is an upper level and a lower level. The elevation difference between these two levels is approximately 4.0 ft.

The ground floor plan is shown in Drawing No. S-02. There are 8 Steel columns in the space. Column No. 1-4 are Wide Flange (WF) Columns with Depth and width of 6"x6", and Column No. 5-8 are Wide Flange Columns with Depth and width of 8"x 8". All columns were used to support roof equipment which was removed. The roof of this portion of the building is supported by Wide flange steel beam as shown Drawing No. S-03. Photos indices are shown on plans.

### 2. FINDINGS

Photo No. 1 shows the inner space, and the photo was taken from upper level. It is observed that the roof deck and steel beams at upper level are in bad condition.

Photo No. 2 was taken focus on roof and roof beam at the lower-level portion. It is observed that: 1) part of roof deck was replaced and steel beams were painted in red with rusty.

Roof steel beams are numbered as shown in Drawing No. S-03. The roof beams above the upper level are numbered from 0 to 7, and those of the roof beam above the lower level are numbered from 8 to 20.

Photo No. 3 shows the roof deck and steel beams above the lower level. It is observed that there are some holes in the existing metal roof deck which indicates the damage of the existing metal roof deck. A close look to the steel beams is shown in Photo No. 5 and 6.

Photo No. 4 shows the roof metal deck and steel beams for roof at the upper level. Severe corrossions are observed for both roof deck and steel beams. Both the roof deck and roof steel beams shall be removed and replaced prior to this portion of building to be occupied.

The lifting machine shown in Photo No. 3 was used to take a close exam at steel beams above lower level. All steel roof beams at lower level (Beam No. 8-20) are in similar condition. They are W10 with 4" flange width. Steel beam No. 14 was chosen since it is at the entrance of the rolling gate which is easier to operate the lifting machine.

Photo No. 5 shows the bottom flange of steel beam No. 14.

Photo No. 6 shows the web and the top flange of beam No. 14.

Both Photo No, 5 and 6 show that corrosion occurs under existing painting. There are certain kinds of damage but negligible to the properties of the steel section.

Photo No. 7 to 9 shows the exterior of the building. Cracks are observed at certain locations along CMU wall joists, such as on top of the rolling gate due to corrossion of the steel lintel (angles above the rolling gate).

Photo 10 and 11 shows the roof of this portion of the building. Water ponding is observed due to the sagging of the roof deck at certain locations.

### 3. CONCLUSIONS AND RECOMMENDATIONS

This portion of the building shall be structural retrofit prior to being occupied. The property owner shall retain a structural engineer. The engineer shall prepare required structural construction drawings and files for the Town of Weathersfield Building department for work permits. The structural works shall be as follows:

- A. Remove and replace the roof steel beams and roof deck for upper-level roof structures.
- B. Replace roof deck for lower-level roof deck where damaged. Remove rusty and deteriorated paint on Beam No, 8 to 20.

# HWL ENGINEERING, P.C.

41-25 Kissena BLVD, Suite  
105, Flushing NY 11355  
T: 646-733-7506  
[info@HWLeng.com](mailto:info@HWLeng.com)  
[www.HWLeng.com](http://www.HWLeng.com)

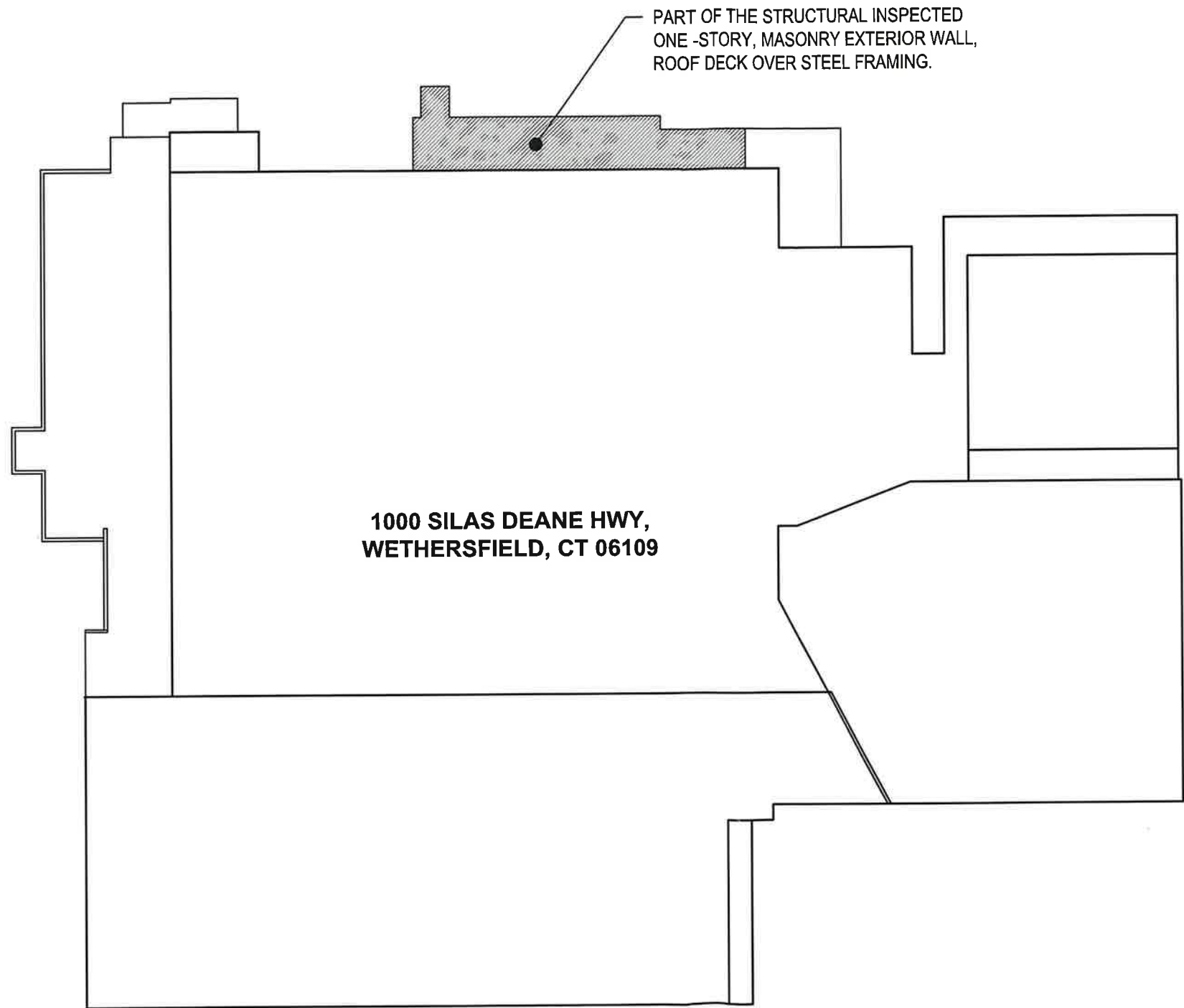
- C. Remove existing Loose Lintel on top of rolling gate, and install new steel lintel above rolling gate
- D. Repair and re-pointing joist of exterior CMU wall.

The proposed works above are also shown on Drawings No. S-03.

Wanlong He, PhD, CT PE No. 29042

October 2, 2025

SILAS DEANE HIGHWAY



1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

PART OF THE STRUCTURAL INSPECTED  
ONE -STORY, MASONRY EXTERIOR WALL,  
ROOF DECK OVER STEEL FRAMING.



0  
S-01

**KEY PLAN**

SCALE: N.T.S.

PROPERTY OWNER:

**KCH TRADING INC.**

PROPERTY OWNER: KEN ZHANG  
PHONE: 516-233-4466  
EMAIL: KENFOOD@GMAIL.COM

1000 SILAS DEANE HWY.,  
WETHERSFIELD, CT, 06109

ENGINEER:

**HWL ENGINEERING PC.**

4125 KISSENA BLVD., SUITE 105  
FLUSHING, NY, 11354  
TEL: 646-733-7506

EMAIL: INFO@HWLENG.COM  
WEB: WWW.HWLENG.COM

NO	REVISIONS	DATE

FIRST ISSUE DATE: 9/28/2025

SEAL



WANLONG HE, CT PE NO. 29042

DOB:

PROJECT:

**1000 SILAS DEANE  
HIGHWAY (PARTIAL)  
STRUCTURAL REPORT**

DRAWING TITLE:

**KEY PLAN**

DRAWING NO.:

**S-01.0**

SHEET. NO: 1 OF 3



PHOTO No.1



PHOTO No. 2



PHOTO No. 7



PHOTO No. 8



PHOTO No. 9

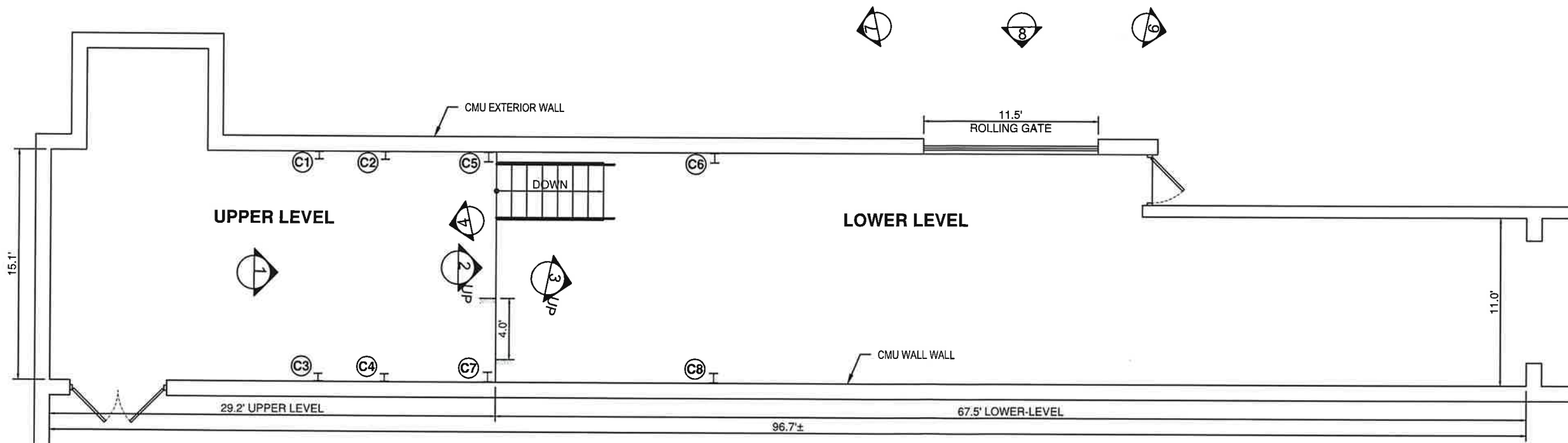


PHOTO No. 4



PHOTO No. 3



1  
S-02

# GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

PROPERTY OWNER:

**KCH TRADING INC.**

PROPERTY OWNER: KEN ZHANG  
PHONE: 516-233-4466  
EMAIL: KENFOOD@GMAIL.COM

1000 SILAS DEANE HWY.,  
WETHERSFIELD, CT, 06109

ENGINEER:

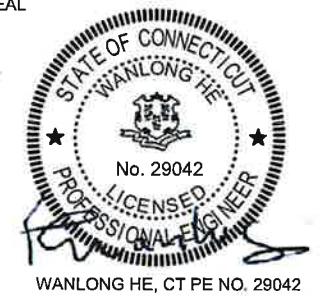
**HWL ENGINEERING PC.**

4125 KISSENA BLVD., SUITE 105  
FLUSHING, NY, 11354  
TEL: 646-733-7506  
EMAIL: INFO@HWLENG.COM  
WEB: WWW.HWLENG.COM

NO	REVISIONS	DATE

FIRST ISSUE DATE: 9/28/2025

SEAL



DOB:

PROJECT:  
**1000 SILAS DEANE  
HIGHWAY (PARTIAL)  
STRUCTURAL REPORT**

DRAWING TITLE:

**GROUND FLOOR PLAN**

DRAWING NO.:

**S-02.0**

SHEET. NO: 2 OF 3



January 09, 2026

Sent Via Email to

email: [david.elder@wethersfieldct.gov](mailto:david.elder@wethersfieldct.gov)

Cc: [lawrence.capuano@wethersfieldct.gov](mailto:lawrence.capuano@wethersfieldct.gov)

[derrick.gregor@wethersfieldct.gov](mailto:derrick.gregor@wethersfieldct.gov)

[planning@wethersfieldct.gov](mailto:planning@wethersfieldct.gov)

Town of Wethersfield  
Engineering Department  
505 Silas Deane Highway,  
Wethersfield, CT 06109

RE: PZC Review-KCH Trading Inc. (Application #2223-25-Z), Dated December 30, 2025

Provided herein are responses to staff review comments received from your office on 12/30/25 for the KCH Trading Inc. (Application #2223-25-Z) located at 1000 Silas Deane Highway, in Wethersfield, Connecticut. **Responses are provided in bold.**

1. Provide documentation that this property has rights to install the proposed drainage system located on Eversource property to the east.
  - **New drainage outfall to be coordinated and approved by Eversource prior to construction. Final restoration to meet Eversource and Town requirements.**
2. Access rights must be provided in favor of 974-990 Silas Deane Highway for the northern driveway apron. Add associated notes to the plan set.
  - **Access rights is noted on Drawing C-2.00, Layout Plan, Site Note 2.**
3. Revise the drainage maps included in the Stormwater Management Narrative to reflect the updated drainage system layout.
  - **The drainage map has been updated in accordance with the narrative, as shown in attached Figure 2 of the Stormwater Memo.**
4. Since the drainage system layout has been updated to have one water quality unit that receives all of the storm water on-site, revise the water quality calculations to include the entire site area, and update the impervious area.
  - **The water quality calculations have been reviewed and are based on the full site area, excluding building areas, as documented in Attachment 8 of the Stormwater Memo.**
5. Provide additional spot grades for curbing, particularly along the sidewalks and ramps west of the building near handicapped parking, and the parking row along the western property line.
  - **Spot elevations have been updated, and ADA accessibility has been verified to be compliant with applicable requirements as shown in sheet C-300 Grading.**

6. Provide a second pedestrian crossing sign in the island just north of the main entrance, for cars traveling north towards the pedestrian walkway. Since ConnDOT sign 41-2112 is for school crossings, revise this to be ConnDOT sign 41-4829 in the sign schedule on Sheet C-702.
  - **A second pedestrian crossing sign has been added to Sheet C-200 Site Layout, and the signage has been updated accordingly on Sheet C-702.**
7. As stated in previous memos, provide size and material of all existing and proposed utilities on the Utility Plan
  - **No new utilities or utility modifications are proposed. The size and material of all existing utility pipes will be provided upon receipt of information from the respective service providers.**
8. Identify where the fire line connects to the building on Sheet C-400.
  - **The fire line connects to the building at the same location, at the north side of the building at the sprinkler room. The approximate routing has been added to Sheet C-400.**
9. On Sheet C-601, several of the light fixtures along the eastern property line are in parking spaces, rather than the parking islands. Revise accordingly.
  - **Lighting fixture locations have been updated on Sheet C-601.**
10. Provide details and/or cut sheets of the light fixtures proposed for the site.
  - **Lighting fixture cutsheets have been added on Sheet C-703.**
11. Update Utility Note 1 on Sheet GN-100 to state that permits are to be obtained from CT DOT and MDC rather than the Town of Wethersfield.
  - **Utility Note 1 updated in GN-100.**
12. Revise any references to the CT DOT Specification Form 818 to Form 819 on Sheet GN-100.
  - **Notes related to Form 819 have been updated on Sheet GN-100.**
13. Revise any references to the Connecticut Guidelines for Soil Erosion and Sediment Control to the most recent edition on Sheet GN-100.
  - **Notes related to Connecticut Guidelines for Soil Erosion and Sediment Control have been updated on Sheet GN-100.**
14. Remove the "For Permitting" note on all sheets. Add the standard Planning and Zoning Commission Approval Block to all sheets in the plan set.
  - **All sheets are updated accordingly.**

Sincerely,

*Yanan Wu*

Yanan Wu  
Assistant Manager of Landscape Architecture

Enclosures:

- 1000 Silas Deane Highway, Wethersfield, Connecticut 06109, For Special Permit and Site Plan and Design Review, Revision #2, dated January 09, 2026
- 1000 Silas Deane Revised Stormwater Memo w Attachments, dated January 07, 2026
- Arch Drawing Set\_1000 Silas Deane, dated January 08, 2026
- Site Renderings , dated December 16, 2025

# KEN FOODS SUPERMARKET

1000 Silas Deane Hwy | Wethersfield | CT 06109

2025.12.16



XZ ARCHITECTURE  
& DESIGN

# EXTERIOR RENDERING

# Aerial View



KEN FOODS

STOP

STOP

# Driveway View 1



# Driveway View 2



# Sidewalk View 1



# Sidewalk View 2



# Sidewalk View 3



Sidewalk View 4



# Parking Lot View 1



# Parking Lot View 2



Parking Lot View 3



Entrance View 1



Entrance View 2



Entrance View 3



KEN FOODS

NO  
PARKING

ACCESSIBLE  
PARKING  
VAN  
ACCESSIBLE

ACCESSIBLE  
PARKING  
VAN  
ACCESSIBLE

Backyard View 1



# Backyard View 2



# NIGHT RENDERING

# Sidewalk View at Nighttime



# Parking Lot View at Nighttime



# Entrance View at Nighttime 1



Entrance View at Nighttime 2



October 24, 2025  
Revised: Jan 09, 2026

Town of Wethersfield  
Economic & Community Development Department  
505 Silas Deane Highway  
Wethersfield, CT 06109

Re: Stormwater Management Narrative  
1000 Silas Deane Highway Renovations  
1000 Silas Deane Highway  
Wethersfield, Connecticut 06109

Dear Town Staff:

Freeman Companies has prepared this Stormwater Management narrative on behalf of KCH Trading Inc. to provide a description and detail of the stormwater management modifications to 1000 Silas Deane Highway, Wethersfield, CT 06109 (hereinafter referred to as the "Site").

## 1.0 Project Summary

The project is intended to be a renovation of an existing industrial facility to a warehouse supermarket use. The overall Site is approximately 3.5 acres and is located within a Regional Commercial (RC) zone. The project consists of the interior renovation of the existing building and exterior improvements to provide the necessary parking and landscaping requirements for the new use. The Site improvements will include new parking throughout the site, improved landscape areas, reconstruction of drives to improve site ingress/egress, and overall modifications to site circulation. Parking to the rear (western portion) of the Site will consist of permeable pavers. The new parking at the rear will improve stormwater treatment and better delineate the property boundary from the paved area to the east owned by Eversource. Access to this property will be maintained via an access drive at the southeast corner of the subject property.

## 2.0 Stormwater Management

### Existing Stormwater Conveyance

The improvements to the overall Site will include modifications to stormwater conveyance within paved areas. The existing stormwater conveyance on site is a mixture of stormwater piping to two (2) outfalls and surface runoff off-site to the east. The surface runoff conveys the neighboring property before sheeting into a vegetated area farther east. The outfalls discharge portions of the Site paved areas to the same vegetated area. The outfall to the northeast of the site was identified on record drawings and appears to receive existing drainage structures discharged through observation of catch basin, however, has not directly observed in the field. The central outfall discharges stormwater from a significant portion of the building roof drainage, loading dock areas and some paved areas. Roof drainage is connected to a 12-inch pipe beneath the building which connects into the exterior drainage towards the rear of the site.

### Proposed Stormwater Conveyance

The proposed improvements include replacement and routing of portions of the paved areas to the central outfall which will be replaced by a larger pipe. Stormwater runoff from the eastern, northern, and southern paved areas will be collected and directed to a new water quality unit (WQU) to provide treatment prior to discharge off-site. The new stormwater route will eliminate the northern outfall and direct flow to the existing central outfall. This pipe will be upsized from a 12-inch pipe to a 24-inch pipe to convey the full site drainage. The Drainage Plan identifies the new routing and new outfall sizing. The rear the site previously sheet flowed to the

neighboring property as there is no physical delineation or grade change between the properties. With the introduction of parking along this property line, permeable pavers are planned with an underdrainage system to treat stormwater, infiltrate runoff where possible and convey any additional stormwater to the outfall. any water that does not infiltrate.

### 3.0 Stormwater Analysis

The existing and proposed site topography were used to determine and plot the drainage areas, as well as land that conveys runoff through the Site. HydroCAD Stormwater Modeling System program by Applied Microcomputer Systems was utilized for the stormwater system analysis; this includes a comparison in stormwater runoff rates for existing and proposed conditions. Conveyance was calculated utilizing Mannings Equation for gravity pipe flow. The existing Site was approximately 95.4% impervious area. The proposed site is approximately 90.4% impervious, which is a minor reduction in impervious coverage.

#### Hydrology and Hydraulic Analysis

The peak rates of volume and runoff levels were obtained through following The Natural Resources Conservation Service’s TR-55 Manual. The NOAA Atlas 14 Precipitation Frequency for the subject property was used to collect the rainfall data. Analysis was done for 2, 10, 25, and 100-year 24-hr duration storms. Existing and Proposed Drainage area maps and Existing and Proposed Condition Hydrologic Computations are included as an attachment. The existing and proposed peak flow comparison is identified in the following table:

**Table 1 –Discharge Table, Cubic Feet per Second (cfs)**

	2-Year Event		10-Year Event		25-Year Event		100-year Event	
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed
POC 1 - Rear of Site	12.25	11.75	19.75	19.31	24.42	24.01	31.56	31.21

Table 1 displays the minor reduction in flow across all storms due to the site improvements. The analysis does not account for any infiltration from the permeable pavers. The analysis assumes full conveyance of water through the underdrains, resulting in a conservative analysis of the overall discharge.

To ensure the size of the new outfall was appropriate, a pipe flow analysis for a 24-inch HDPE pipe was completed utilizing Manning’s Equation was completed to ensure conveyance of the 10-year storm discharge rate per State and Town Standards. The allowable pipe conveyance was calculated at 19.61 cfs when flowing full. The 10-year storm peak flow as shown in table 1 is 19.31 cfs, less than the allowable flow. As previously mentioned, the stormwater discharge does not account for infiltration from the permeable pavers, which would further reduce peak flows. Pipe flow calculation is included as an attachment.

#### Water Quality

The emphasis of the stormwater design is the improvement of the water quality and reduction of pollutants prior to discharge per the Town requirements and 2024 Connecticut Stormwater Quality manual. The required water quality flow was calculated considering the 1.3-inch rain event across paved areas conveying to the final discharge location. Water treatment is facilitated by water quality units sized to treat the appropriate water quality flow (WQF). The inclusion of permeable pavers will further improve water quality along the rear of the property by promoting filtration of surface runoff through subsurface media and soil and recharge of groundwater.

### 4.0 Conclusion

As a result of the data provided, it has been demonstrated that the project will result in a net positive impact on stormwater management for the Site. The site improvements improves and controls stormwater conveyance, reduces peak flow generated for

the site across all storms and significantly improves water quality treatment prior to discharge. The project does not impose negative impacts to the onsite infrastructure or adjacent properties. It is our opinion that the proposed project will improve the overall site and lessens impacts on adjacent receiving areas.

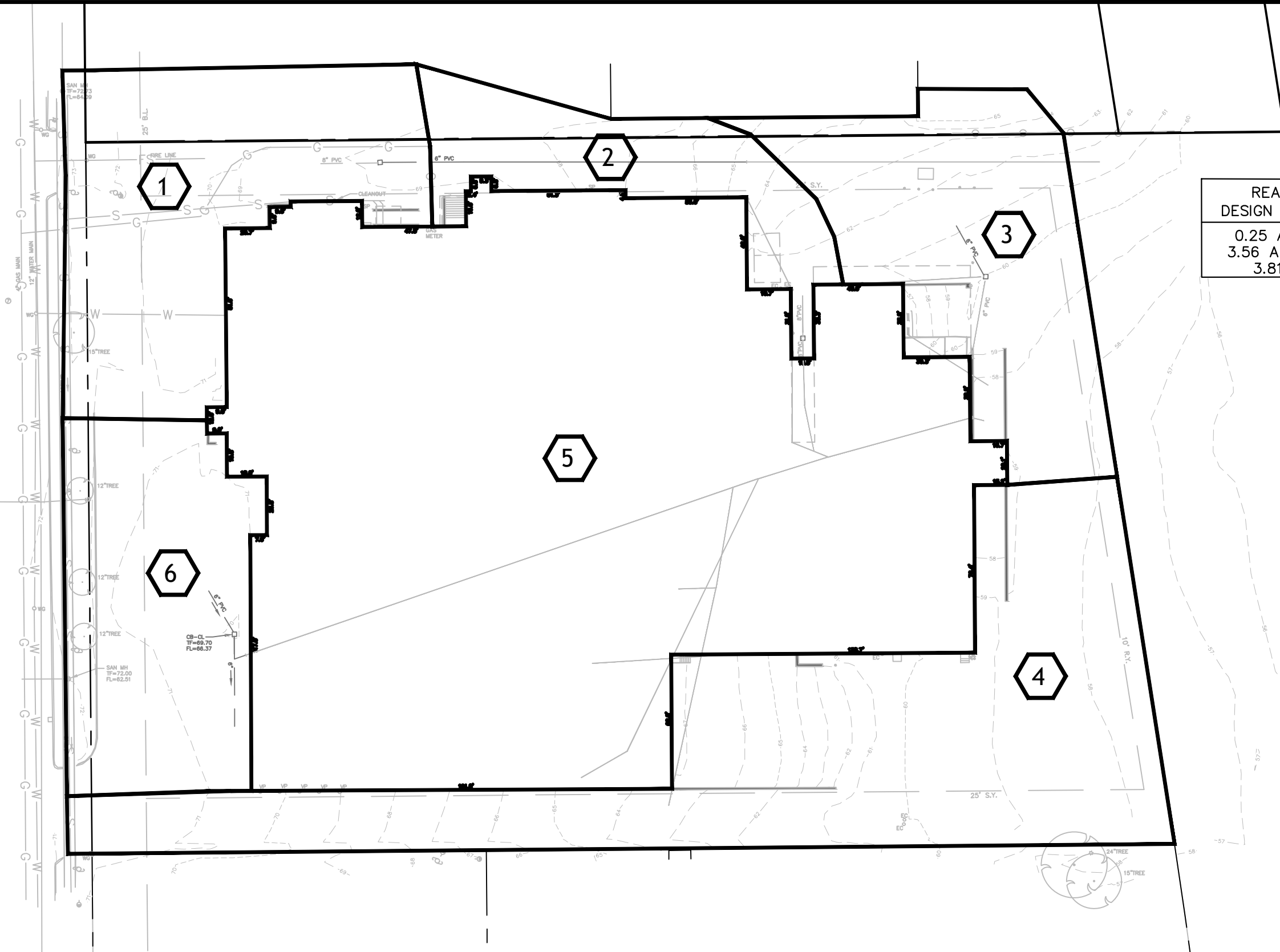
Sincerely,



Tristan Wallace, P.E.  
Manager of Civil Engineering

Attachments:

- Existing Conditions Drainage Areas
- Proposed Conditions Drainage Areas
- Existing Pervious Area Map
- Proposed Pervious Area Map
- Existing Conditions HydroCAD
- Proposed Conditions HydroCAD
- Pipe Flow Calculations – 24” Pipe
- Water Quality Calculations



REAR OF SITE  
 DESIGN POINT/POC #1  
 0.25 AC PERVIOUS  
 3.56 AC IMPERVIOUS  
 3.81 AC TOTAL

**FREEMAN**  
 COMPANIES  
 LAND DEVELOPMENT | ENGINEERING DESIGN | CONSTRUCTION SERVICES

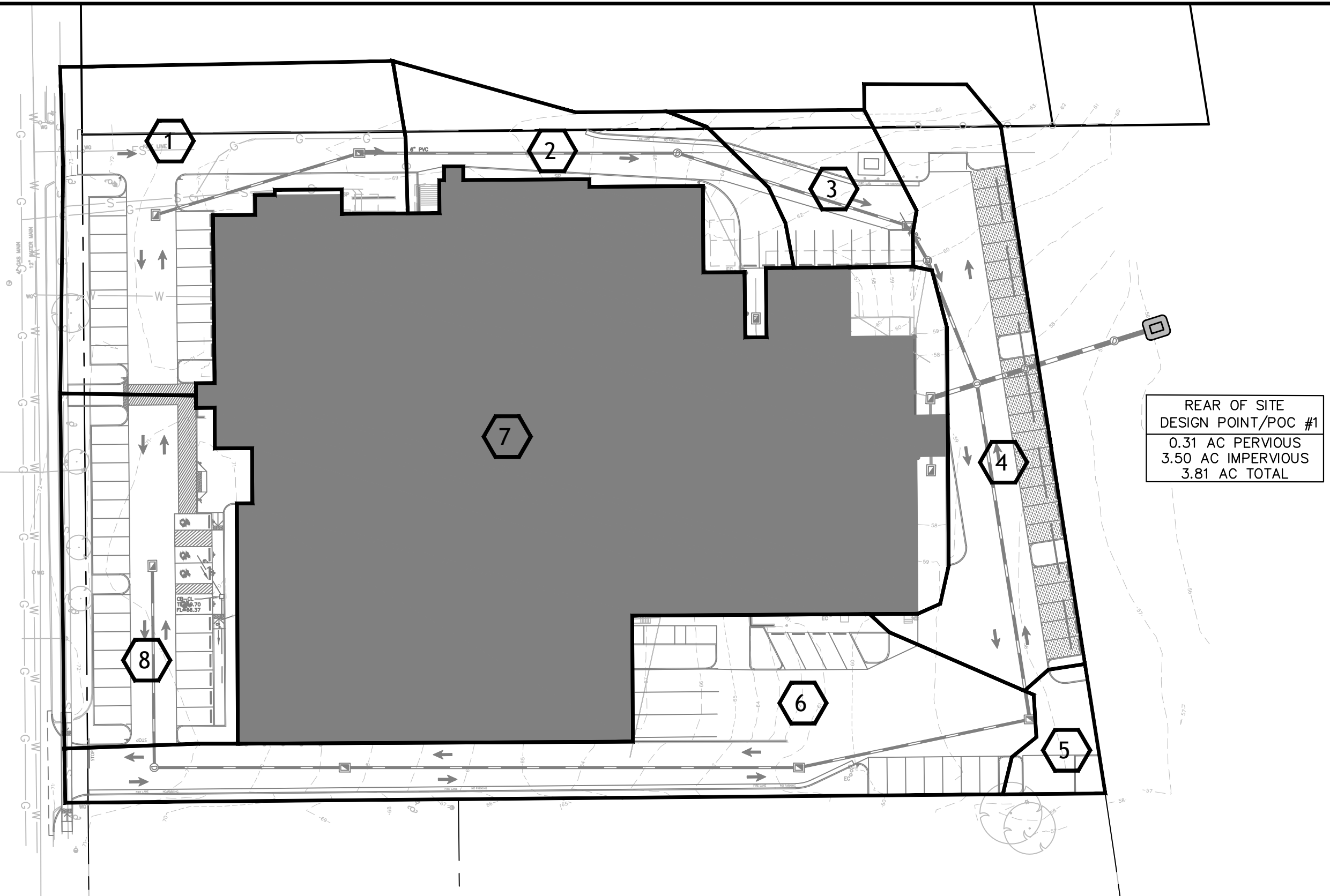
36 JOHN STREET  
 HARTFORD, CT 06106  
 WWW.FREEMANCOS.COM  
 TEL: (860) 251-9550  
 FAX: (860) 986-7161

**EXISTING DRAINAGE AREA MAP**  
 1000 SILAS DEANE HIGHWAY  
 HARTFORD, CT

DESIGNED: IRM  
 DRAWN: IRM  
 CHECKED: TRW  
 APPROVED: TRW  
 SCALE: 1" = 50'  
 PROJECT NO.: 2023-0404  
 DATE: 10/03/25

SHEET NO.  
**FIGURE 1**

Freeman Companies, LLC - R:\2025\2025-0109 1000 Silas Deane\ENG\Drainage\DWG\Silas Deane - Proposed Drainage Area Map.dwg Jan 07, 2026 - 8:11am Plotted By: MMia



**FREEMAN**  
 COMPANIES  
 LAND DEVELOPMENT | ENGINEERING DESIGN | CONSTRUCTION SERVICES

36 JOHN STREET  
 HARTFORD, CT 06106  
 WWW.FREEMANCOS.COM  
 TEL: (860)251-9550  
 FAX: (860)986-7161

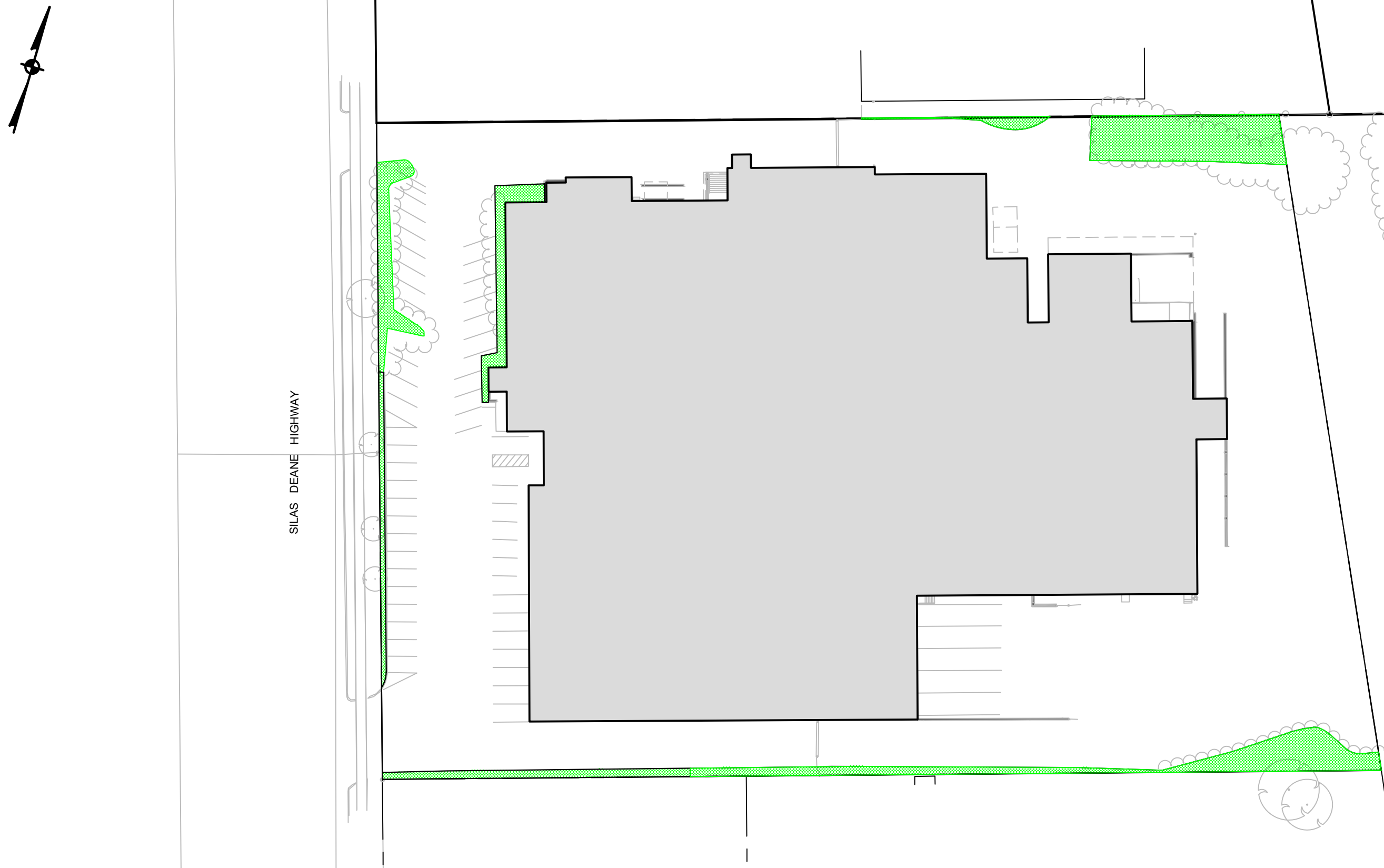
**PROPOSED DRAINAGE AREA MAP**  
 1000 SILAS DEANE HIGHWAY  
 WETHERSFIELD, CT

DESIGNED:	IRM
DRAWN:	IRM
CHECKED:	TRW
APPROVED:	TRW
SCALE:	1" = 50'
PROJECT NO.:	2023-0404
DATE:	01/07/26

SHEET NO.

FIGURE 2

Freeman Companies, LLC - R: \2025\2025-0109 1000 Silas Deane\ENG\Drainage\DWG\Silas Deane - Existing Pervious Area Map.dwg Dec 05, 2025-4:48pm Plotted By: jnartz



SITE AREA
0.16 AC PERVIOUS
3.51 AC TOTAL

<b>LEGEND</b>	
	PERVIOUS AREA

**FREEMAN**  
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LAND DEVELOPMENT | ENGINEERING DESIGN | CONSTRUCTION SERVICES

36 JOHN STREET  
HARTFORD, CT 06106  
WWW.FREEMANCOS.COM  
TEL:(860)251-9550  
FAX:(860)986-7161

**EXISTING PERVIOUS AREA MAP**  
1000 SILAS DEANE HIGHWAY  
HARTFORD, CT

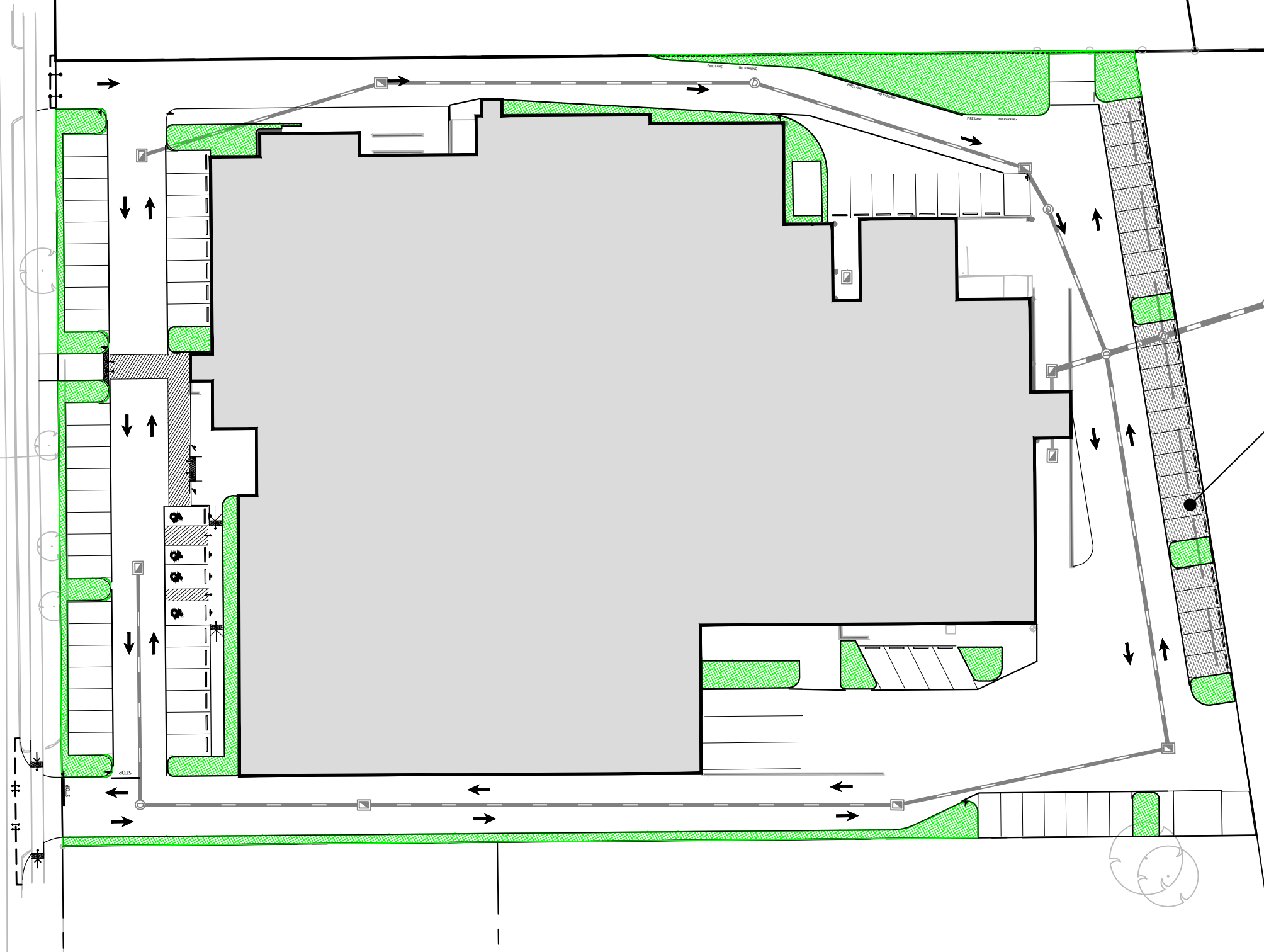
DESIGNED:  
DRAWN:  
CHECKED:  
APPROVED:  
SCALE:  
PROJECT NO.:  
DATE:

IRM  
JZ  
TRW  
TRW  
1" = 50'  
2025-0109  
12/05/25

SHEET NO.  
**FIGURE 3**



SILAS DEANE HIGHWAY



SITE AREA	
0.22 AC PERVIOUS	
0.09 AC OF SEMI-PERVIOUS	
3.51 AC TOTAL	

PERMEABLE PAVEMENT AREA  
SEMI-PERVIOUS SURFACE

LEGEND	
	PERVIOUS AREA

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WWW.FREEMANCOS.COM  
TEL: (860)251-9550  
FAX: (860)986-7161

**PROPOSED PERVIOUS AREA MAP**  
1000 SILAS DEANE HIGHWAY  
WETHERSFIELD, CT

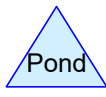
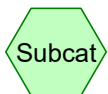
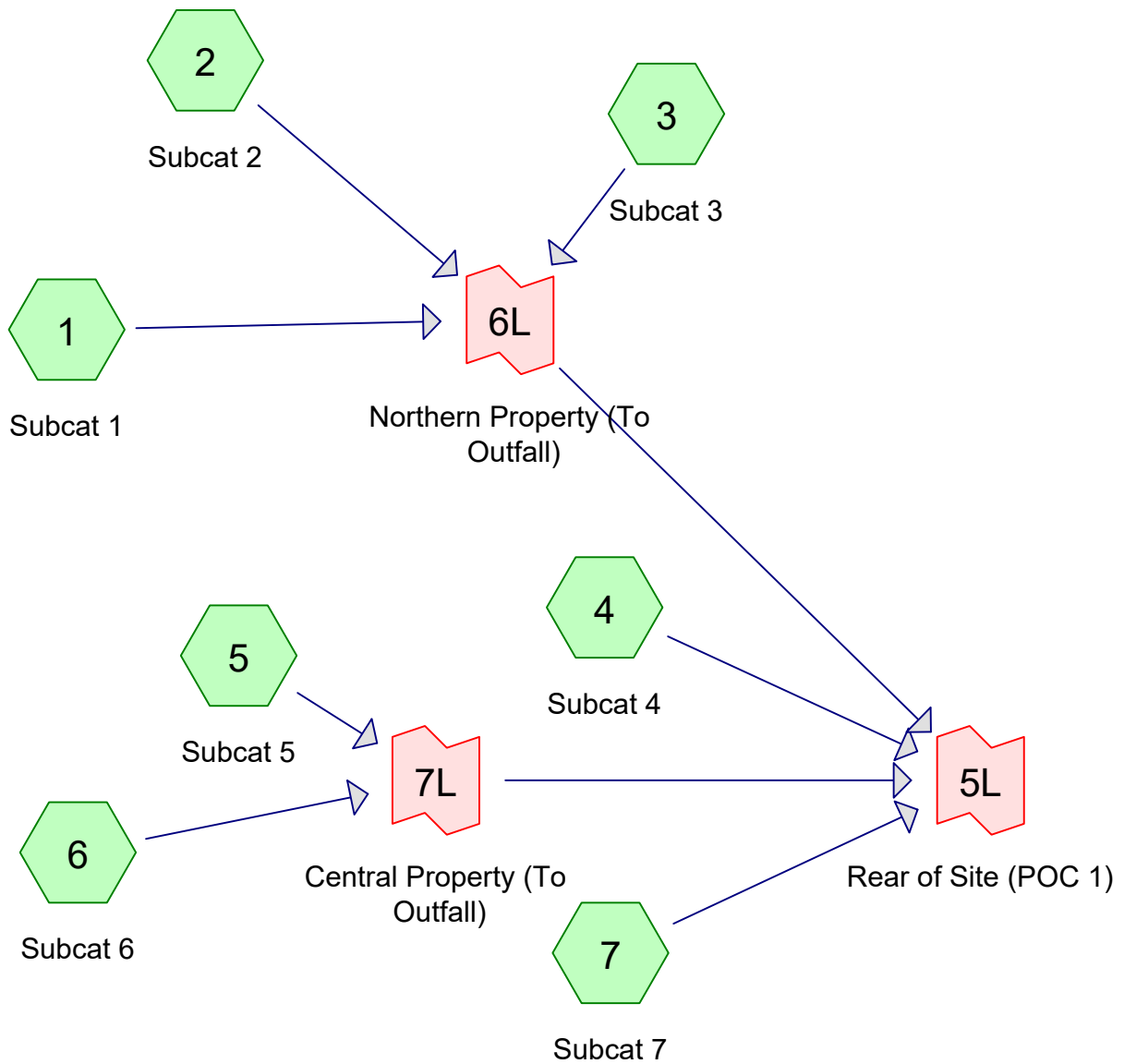
DESIGNED:  
DRAWN:  
CHECKED:  
APPROVED:  
SCALE:  
PROJECT NO.:  
DATE:

IRM  
JZ  
TRW  
TRW  
1" = 50'  
2025-0109  
12/04/25

SHEET NO.

FIGURE 4

Freeman Companies, LLC - R:\2025\2025-0109 1000 Silas Deane\ENG\Drainage\DWG\Silas Deane - Proposed Pervious Area Map.dwg Dec 05, 2025 - 4:32pm Plotted By: twalace



**Routing Diagram for Silas Deane - Existing Conditions**  
 Prepared by Freeman Companies, LLC, Printed 10/24/2025  
 HydroCAD® 10.20-5c s/n 06399 © 2023 HydroCAD Software Solutions LLC

## Silas Deane - Existing Conditions

Prepared by Freeman Companies, LLC

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Printed 10/24/2025

Page 2

### Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	NOAA10 24-hr	D	Default	24.00	1	3.13	2
2	10-yr	NOAA10 24-hr	D	Default	24.00	1	4.95	2
3	25-yr	NOAA10 24-hr	D	Default	24.00	1	6.09	2
4	100-yr	NOAA10 24-hr	D	Default	24.00	1	7.84	2

## Silas Deane - Existing Conditions

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Page 3

### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.098	84	50-75% Grass cover, Fair, HSG D (1, 2, 3, 6, 7)
0.150	77	Brush, Fair, HSG D (1, 3, 4, 7)
1.818	98	Paved parking, HSG D (1, 2, 3, 4, 5, 6, 7)
1.744	98	Roofs, HSG D (4, 5)
<b>3.810</b>	<b>97</b>	<b>TOTAL AREA</b>

# Silas Deane - Existing Conditions

Prepared by Freeman Companies, LLC

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Page 4

## Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.000	HSG C	
3.810	HSG D	1, 2, 3, 4, 5, 6, 7
0.000	Other	
<b>3.810</b>		<b>TOTAL AREA</b>

# Silas Deane - Existing Conditions

Prepared by Freeman Companies, LLC

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Page 5

## Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.098	0.000	0.098	50-75% Grass cover, Fair	1, 2, 3, 6, 7
0.000	0.000	0.000	0.150	0.000	0.150	Brush, Fair	1, 3, 4, 7
0.000	0.000	0.000	1.818	0.000	1.818	Paved parking	1, 2, 3, 4, 5, 6, 7
0.000	0.000	0.000	1.744	0.000	1.744	Roofs	4, 5
<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>3.810</b>	<b>0.000</b>	<b>3.810</b>	<b>TOTAL AREA</b>	

**Silas Deane - Existing Conditions**

Prepared by Freeman Companies, LLC

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NOAA10 24-hr D 2-yr Rainfall=3.13"

Printed 10/24/2025

Page 6

Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=18,048 sf 85.33% Impervious Runoff Depth=2.58" Tc=5.0 min CN=95 Runoff=1.29 cfs 0.089 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=8,550 sf 93.93% Impervious Runoff Depth=2.79" Tc=5.0 min CN=97 Runoff=0.64 cfs 0.046 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=5,570 sf 72.46% Impervious Runoff Depth=2.38" Tc=5.0 min CN=93 Runoff=0.38 cfs 0.025 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=8,587 sf 82.86% Impervious Runoff Depth=2.48" Tc=5.0 min CN=94 Runoff=0.60 cfs 0.041 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=79,149 sf 100.00% Impervious Runoff Depth=2.90" Tc=5.0 min CN=98 Runoff=5.97 cfs 0.439 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=14,350 sf 86.62% Impervious Runoff Depth=2.68" Tc=5.0 min CN=96 Runoff=1.05 cfs 0.074 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=31,721 sf 91.43% Impervious Runoff Depth=2.68" Tc=5.0 min CN=96 Runoff=2.32 cfs 0.163 af
<b>Link 5L: Rear of Site (POC 1)</b>	Inflow=12.25 cfs 0.876 af Primary=12.25 cfs 0.876 af
<b>Link 6L: Northern Property (To Outfall)</b>	Inflow=2.30 cfs 0.160 af Primary=2.30 cfs 0.160 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=7.02 cfs 0.512 af Primary=7.02 cfs 0.512 af

**Total Runoff Area = 3.810 ac Runoff Volume = 0.876 af Average Runoff Depth = 2.76"**  
**6.51% Pervious = 0.248 ac 93.49% Impervious = 3.562 ac**

**Silas Deane - Existing Conditions**

NOAA10 24-hr D 10-yr Rainfall=4.95"

Prepared by Freeman Companies, LLC

Printed 10/24/2025

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Page 7

Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=18,048 sf 85.33% Impervious Runoff Depth=4.37" Tc=5.0 min CN=95 Runoff=2.12 cfs 0.151 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=8,550 sf 93.93% Impervious Runoff Depth=4.60" Tc=5.0 min CN=97 Runoff=1.02 cfs 0.075 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=5,570 sf 72.46% Impervious Runoff Depth=4.15" Tc=5.0 min CN=93 Runoff=0.64 cfs 0.044 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=8,587 sf 82.86% Impervious Runoff Depth=4.26" Tc=5.0 min CN=94 Runoff=0.99 cfs 0.070 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=79,149 sf 100.00% Impervious Runoff Depth=4.71" Tc=5.0 min CN=98 Runoff=9.52 cfs 0.714 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=14,350 sf 86.62% Impervious Runoff Depth=4.48" Tc=5.0 min CN=96 Runoff=1.70 cfs 0.123 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=31,721 sf 91.43% Impervious Runoff Depth=4.48" Tc=5.0 min CN=96 Runoff=3.76 cfs 0.272 af
<b>Link 5L: Rear of Site (POC 1)</b>	Inflow=19.75 cfs 1.449 af Primary=19.75 cfs 1.449 af
<b>Link 6L: Northern Property (To Outfall)</b>	Inflow=3.77 cfs 0.270 af Primary=3.77 cfs 0.270 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=11.22 cfs 0.837 af Primary=11.22 cfs 0.837 af

**Total Runoff Area = 3.810 ac Runoff Volume = 1.449 af Average Runoff Depth = 4.56"**  
**6.51% Pervious = 0.248 ac 93.49% Impervious = 3.562 ac**

**Silas Deane - Existing Conditions**

NOAA10 24-hr D 25-yr Rainfall=6.09"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=18,048 sf 85.33% Impervious Runoff Depth=5.50" Tc=5.0 min CN=95 Runoff=2.63 cfs 0.190 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=8,550 sf 93.93% Impervious Runoff Depth=5.73" Tc=5.0 min CN=97 Runoff=1.26 cfs 0.094 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=5,570 sf 72.46% Impervious Runoff Depth=5.27" Tc=5.0 min CN=93 Runoff=0.80 cfs 0.056 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=8,587 sf 82.86% Impervious Runoff Depth=5.39" Tc=5.0 min CN=94 Runoff=1.24 cfs 0.088 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=79,149 sf 100.00% Impervious Runoff Depth=5.85" Tc=5.0 min CN=98 Runoff=11.73 cfs 0.886 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=14,350 sf 86.62% Impervious Runoff Depth=5.62" Tc=5.0 min CN=96 Runoff=2.11 cfs 0.154 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=31,721 sf 91.43% Impervious Runoff Depth=5.62" Tc=5.0 min CN=96 Runoff=4.65 cfs 0.341 af
<b>Link 5L: Rear of Site (POC 1)</b>	Inflow=24.42 cfs 1.810 af Primary=24.42 cfs 1.810 af
<b>Link 6L: Northern Property (To Outfall)</b>	Inflow=4.69 cfs 0.340 af Primary=4.69 cfs 0.340 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=13.84 cfs 1.040 af Primary=13.84 cfs 1.040 af

**Total Runoff Area = 3.810 ac Runoff Volume = 1.810 af Average Runoff Depth = 5.70"**  
**6.51% Pervious = 0.248 ac 93.49% Impervious = 3.562 ac**

**Silas Deane - Existing Conditions**

NOAA10 24-hr D 100-yr Rainfall=7.84"

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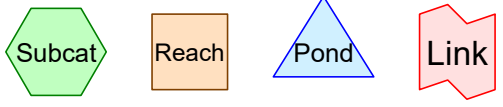
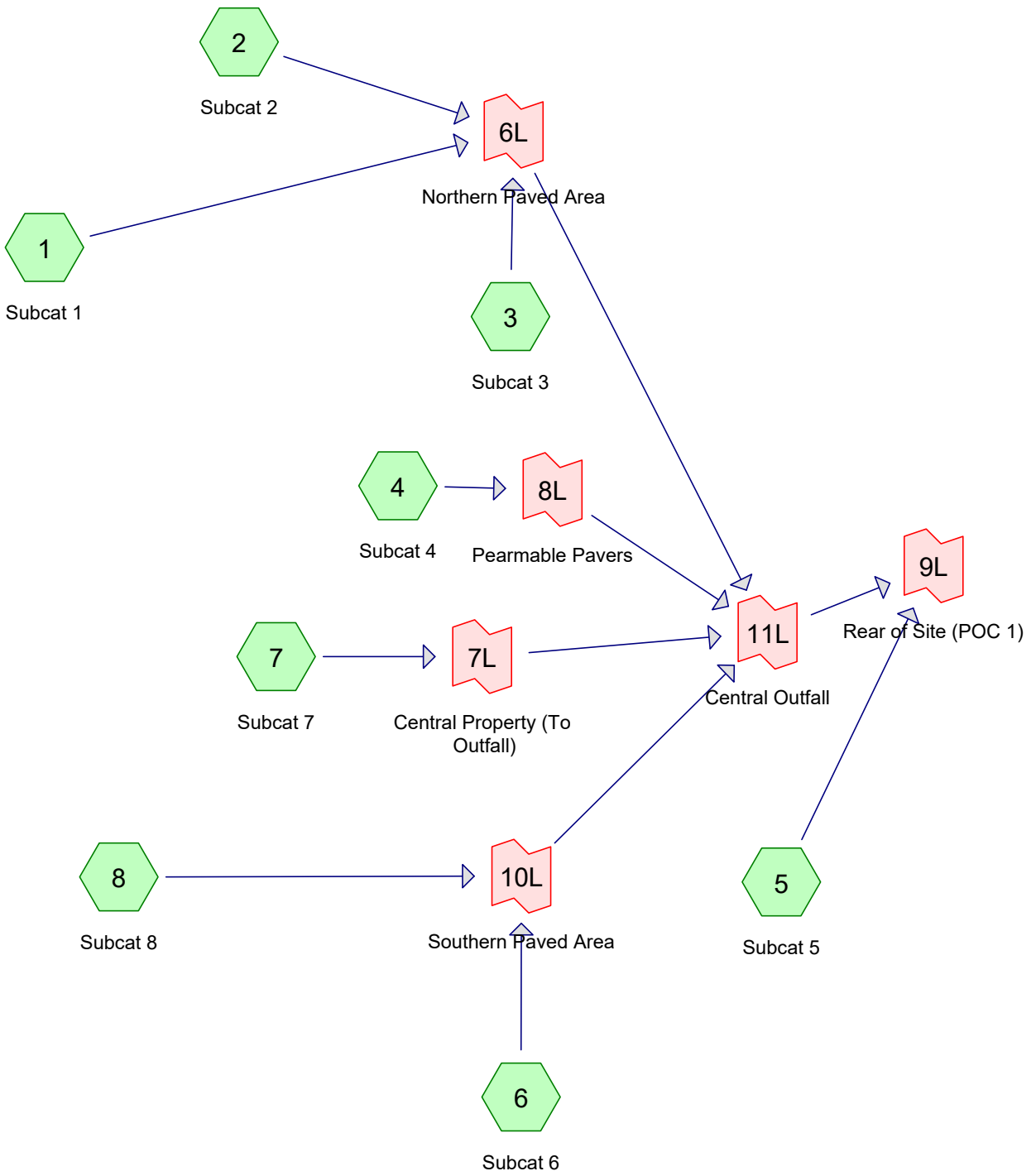
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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=18,048 sf 85.33% Impervious Runoff Depth=7.24" Tc=5.0 min CN=95 Runoff=3.41 cfs 0.250 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=8,550 sf 93.93% Impervious Runoff Depth=7.48" Tc=5.0 min CN=97 Runoff=1.63 cfs 0.122 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=5,570 sf 72.46% Impervious Runoff Depth=7.00" Tc=5.0 min CN=93 Runoff=1.04 cfs 0.075 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=8,587 sf 82.86% Impervious Runoff Depth=7.12" Tc=5.0 min CN=94 Runoff=1.61 cfs 0.117 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=79,149 sf 100.00% Impervious Runoff Depth=7.60" Tc=5.0 min CN=98 Runoff=15.13 cfs 1.151 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=14,350 sf 86.62% Impervious Runoff Depth=7.36" Tc=5.0 min CN=96 Runoff=2.72 cfs 0.202 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=31,721 sf 91.43% Impervious Runoff Depth=7.36" Tc=5.0 min CN=96 Runoff=6.02 cfs 0.447 af
<b>Link 5L: Rear of Site (POC 1)</b>	Inflow=31.56 cfs 2.364 af Primary=31.56 cfs 2.364 af
<b>Link 6L: Northern Property (To Outfall)</b>	Inflow=6.08 cfs 0.447 af Primary=6.08 cfs 0.447 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=17.85 cfs 1.353 af Primary=17.85 cfs 1.353 af

**Total Runoff Area = 3.810 ac Runoff Volume = 2.364 af Average Runoff Depth = 7.44"**  
**6.51% Pervious = 0.248 ac 93.49% Impervious = 3.562 ac**



**Routing Diagram for Silas Deane - Proposed Conditions**  
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# Silas Deane - Proposed Conditions

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## Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-yr	NOAA10 24-hr	D	Default	24.00	1	3.13	2
2	10-yr	NOAA10 24-hr	D	Default	24.00	1	4.95	2
3	25-yr	NOAA10 24-hr	D	Default	24.00	1	6.09	2
4	100-yr	NOAA10 24-hr	D	Default	24.00	1	7.84	2

## Silas Deane - Proposed Conditions

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### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.305	61	>75% Grass cover, Good, HSG B (1, 2, 3, 4, 5, 6, 8)
1.600	98	Paved parking, HSG B (1, 2, 3, 4, 5, 6, 7, 8)
0.089	98	Unconnected pavement, HSG B (4)
1.817	98	Unconnected roofs, HSG B (7)
<b>3.810</b>	<b>95</b>	<b>TOTAL AREA</b>

# Silas Deane - Proposed Conditions

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## Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
3.810	HSG B	1, 2, 3, 4, 5, 6, 7, 8
0.000	HSG C	
0.000	HSG D	
0.000	Other	
<b>3.810</b>		<b>TOTAL AREA</b>

# Silas Deane - Proposed Conditions

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## Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.305	0.000	0.000	0.000	0.305	>75% Grass cover, Good	1, 2, 3, 4, 5, 6, 8
0.000	1.600	0.000	0.000	0.000	1.600	Paved parking	1, 2, 3, 4, 5, 6, 7, 8
0.000	0.089	0.000	0.000	0.000	0.089	Unconnected pavement	4
0.000	1.817	0.000	0.000	0.000	1.817	Unconnected roofs	7
<b>0.000</b>	<b>3.810</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>3.810</b>	<b>TOTAL AREA</b>	

**Silas Deane - Proposed Conditions**

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NOAA10 24-hr D 2-yr Rainfall=3.13"

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Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=0.414 ac 88.28% Impervious Runoff Depth=2.48" Tc=5.0 min CN=94 Runoff=1.26 cfs 0.085 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=0.196 ac 81.89% Impervious Runoff Depth=2.19" Tc=5.0 min CN=91 Runoff=0.55 cfs 0.036 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=0.121 ac 58.78% Impervious Runoff Depth=1.55" Tc=5.0 min CN=83 Runoff=0.25 cfs 0.016 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=0.361 ac 90.11% Impervious Runoff Depth=2.48" Tc=5.0 min CN=94 Runoff=1.10 cfs 0.075 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=0.048 ac 88.36% Impervious Runoff Depth=2.48" Tc=5.0 min CN=94 Runoff=0.15 cfs 0.010 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=0.523 ac 88.90% Impervious Runoff Depth=2.48" Tc=5.0 min CN=94 Runoff=1.59 cfs 0.108 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=1.817 ac 100.00% Impervious Runoff Depth=2.90" Tc=5.0 min CN=98 Runoff=5.97 cfs 0.439 af
<b>Subcatchment8: Subcat 8</b>	Runoff Area=0.329 ac 78.41% Impervious Runoff Depth=2.10" Tc=5.0 min CN=90 Runoff=0.89 cfs 0.058 af
<b>Link 6L: Northern Paved Area</b>	Inflow=2.05 cfs 0.137 af Primary=2.05 cfs 0.137 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=5.97 cfs 0.439 af Primary=5.97 cfs 0.439 af
<b>Link 8L: Pearmable Pavers</b>	Inflow=1.10 cfs 0.075 af Primary=1.10 cfs 0.075 af
<b>Link 9L: Rear of Site (POC 1)</b>	Inflow=11.75 cfs 0.826 af Primary=11.75 cfs 0.826 af
<b>Link 10L: Southern Paved Area</b>	Inflow=2.48 cfs 0.166 af Primary=2.48 cfs 0.166 af
<b>Link 11L: Central Outfall</b>	Inflow=11.60 cfs 0.816 af Primary=11.60 cfs 0.816 af

**Total Runoff Area = 3.810 ac Runoff Volume = 0.826 af Average Runoff Depth = 2.60"**  
**7.99% Pervious = 0.305 ac 92.01% Impervious = 3.506 ac**

**Silas Deane - Proposed Conditions**

NOAA10 24-hr D 10-yr Rainfall=4.95"

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Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=0.414 ac 88.28% Impervious Runoff Depth=4.26" Tc=5.0 min CN=94 Runoff=2.09 cfs 0.147 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=0.196 ac 81.89% Impervious Runoff Depth=3.93" Tc=5.0 min CN=91 Runoff=0.95 cfs 0.064 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=0.121 ac 58.78% Impervious Runoff Depth=3.13" Tc=5.0 min CN=83 Runoff=0.49 cfs 0.032 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=0.361 ac 90.11% Impervious Runoff Depth=4.26" Tc=5.0 min CN=94 Runoff=1.82 cfs 0.128 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=0.048 ac 88.36% Impervious Runoff Depth=4.26" Tc=5.0 min CN=94 Runoff=0.24 cfs 0.017 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=0.523 ac 88.90% Impervious Runoff Depth=4.26" Tc=5.0 min CN=94 Runoff=2.64 cfs 0.186 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=1.817 ac 100.00% Impervious Runoff Depth=4.71" Tc=5.0 min CN=98 Runoff=9.52 cfs 0.714 af
<b>Subcatchment8: Subcat 8</b>	Runoff Area=0.329 ac 78.41% Impervious Runoff Depth=3.83" Tc=5.0 min CN=90 Runoff=1.56 cfs 0.105 af
<b>Link 6L: Northern Paved Area</b>	Inflow=3.53 cfs 0.243 af Primary=3.53 cfs 0.243 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=9.52 cfs 0.714 af Primary=9.52 cfs 0.714 af
<b>Link 8L: Pearmable Pavers</b>	Inflow=1.82 cfs 0.128 af Primary=1.82 cfs 0.128 af
<b>Link 9L: Rear of Site (POC 1)</b>	Inflow=19.31 cfs 1.392 af Primary=19.31 cfs 1.392 af
<b>Link 10L: Southern Paved Area</b>	Inflow=4.20 cfs 0.291 af Primary=4.20 cfs 0.291 af
<b>Link 11L: Central Outfall</b>	Inflow=19.06 cfs 1.375 af Primary=19.06 cfs 1.375 af

**Total Runoff Area = 3.810 ac Runoff Volume = 1.392 af Average Runoff Depth = 4.39"**  
**7.99% Pervious = 0.305 ac 92.01% Impervious = 3.506 ac**

**Silas Deane - Proposed Conditions**

NOAA10 24-hr D 25-yr Rainfall=6.09"

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Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

<b>Subcatchment1: Subcat 1</b>	Runoff Area=0.414 ac 88.28% Impervious Runoff Depth=5.39" Tc=5.0 min CN=94 Runoff=2.61 cfs 0.186 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=0.196 ac 81.89% Impervious Runoff Depth=5.05" Tc=5.0 min CN=91 Runoff=1.19 cfs 0.083 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=0.121 ac 58.78% Impervious Runoff Depth=4.17" Tc=5.0 min CN=83 Runoff=0.65 cfs 0.042 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=0.361 ac 90.11% Impervious Runoff Depth=5.39" Tc=5.0 min CN=94 Runoff=2.27 cfs 0.162 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=0.048 ac 88.36% Impervious Runoff Depth=5.39" Tc=5.0 min CN=94 Runoff=0.30 cfs 0.022 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=0.523 ac 88.90% Impervious Runoff Depth=5.39" Tc=5.0 min CN=94 Runoff=3.29 cfs 0.235 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=1.817 ac 100.00% Impervious Runoff Depth=5.85" Tc=5.0 min CN=98 Runoff=11.73 cfs 0.886 af
<b>Subcatchment8: Subcat 8</b>	Runoff Area=0.329 ac 78.41% Impervious Runoff Depth=4.93" Tc=5.0 min CN=90 Runoff=1.98 cfs 0.135 af
<b>Link 6L: Northern Paved Area</b>	Inflow=4.45 cfs 0.311 af Primary=4.45 cfs 0.311 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=11.73 cfs 0.886 af Primary=11.73 cfs 0.886 af
<b>Link 8L: Pearmable Pavers</b>	Inflow=2.27 cfs 0.162 af Primary=2.27 cfs 0.162 af
<b>Link 9L: Rear of Site (POC 1)</b>	Inflow=24.01 cfs 1.750 af Primary=24.01 cfs 1.750 af
<b>Link 10L: Southern Paved Area</b>	Inflow=5.26 cfs 0.370 af Primary=5.26 cfs 0.370 af
<b>Link 11L: Central Outfall</b>	Inflow=23.71 cfs 1.729 af Primary=23.71 cfs 1.729 af

**Total Runoff Area = 3.810 ac Runoff Volume = 1.750 af Average Runoff Depth = 5.51"**  
**7.99% Pervious = 0.305 ac 92.01% Impervious = 3.506 ac**

**Silas Deane - Proposed Conditions**

NOAA10 24-hr D 100-yr Rainfall=7.84"

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Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

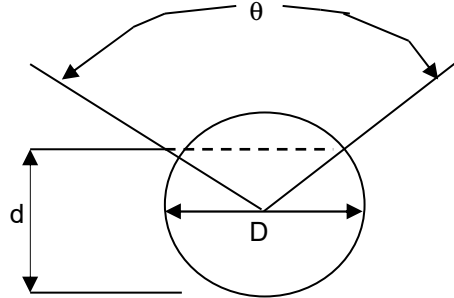
<b>Subcatchment1: Subcat 1</b>	Runoff Area=0.414 ac 88.28% Impervious Runoff Depth=7.12" Tc=5.0 min CN=94 Runoff=3.39 cfs 0.246 af
<b>Subcatchment2: Subcat 2</b>	Runoff Area=0.196 ac 81.89% Impervious Runoff Depth=6.77" Tc=5.0 min CN=91 Runoff=1.57 cfs 0.111 af
<b>Subcatchment3: Subcat 3</b>	Runoff Area=0.121 ac 58.78% Impervious Runoff Depth=5.82" Tc=5.0 min CN=83 Runoff=0.88 cfs 0.059 af
<b>Subcatchment4: Subcat 4</b>	Runoff Area=0.361 ac 90.11% Impervious Runoff Depth=7.12" Tc=5.0 min CN=94 Runoff=2.96 cfs 0.214 af
<b>Subcatchment5: Subcat 5</b>	Runoff Area=0.048 ac 88.36% Impervious Runoff Depth=7.12" Tc=5.0 min CN=94 Runoff=0.39 cfs 0.028 af
<b>Subcatchment6: Subcat 6</b>	Runoff Area=0.523 ac 88.90% Impervious Runoff Depth=7.12" Tc=5.0 min CN=94 Runoff=4.28 cfs 0.310 af
<b>Subcatchment7: Subcat 7</b>	Runoff Area=1.817 ac 100.00% Impervious Runoff Depth=7.60" Tc=5.0 min CN=98 Runoff=15.13 cfs 1.151 af
<b>Subcatchment8: Subcat 8</b>	Runoff Area=0.329 ac 78.41% Impervious Runoff Depth=6.65" Tc=5.0 min CN=90 Runoff=2.61 cfs 0.183 af
<b>Link 6L: Northern Paved Area</b>	Inflow=5.85 cfs 0.416 af Primary=5.85 cfs 0.416 af
<b>Link 7L: Central Property (To Outfall)</b>	Inflow=15.13 cfs 1.151 af Primary=15.13 cfs 1.151 af
<b>Link 8L: Pearmable Pavers</b>	Inflow=2.96 cfs 0.214 af Primary=2.96 cfs 0.214 af
<b>Link 9L: Rear of Site (POC 1)</b>	Inflow=31.21 cfs 2.302 af Primary=31.21 cfs 2.302 af
<b>Link 10L: Southern Paved Area</b>	Inflow=6.89 cfs 0.493 af Primary=6.89 cfs 0.493 af
<b>Link 11L: Central Outfall</b>	Inflow=30.82 cfs 2.273 af Primary=30.82 cfs 2.273 af

**Total Runoff Area = 3.810 ac Runoff Volume = 2.302 af Average Runoff Depth = 7.25"**  
**7.99% Pervious = 0.305 ac 92.01% Impervious = 3.506 ac**

**MANNING'S EQUATION FOR PIPE FLOW**

Project: 1000 Silas Deane Location: Central Outfall  
 By: TRW Date:   
 Chk. By: Date: mdo version 12.8.00

Clear Data  
Entry Cells



INPUT

D= 24 inches  
 d= 24 inches  
 n= 0.012 manning's coeff  
 theta= 0.0 degrees  
 S= 0.0064 slope in/in

Mannings Formula

$$Q = (1.486/n) A R_h^{2/3} S^{1/2}$$

R=A/P  
 A=cross sectional area  
 P=wetted perimeter  
 S=slope of channel  
 n=Manning's roughness coefficient

$$V = (1.49/n) R_h^{2/3} S^{1/2}$$

$$Q = V \times A$$

			Solution to Mannings Equation		Manning's n-values	
Area, ft <sup>2</sup>	Wetted Perimeter, ft	Hydraulic Radius, ft	velocity ft/s	flow, cfs		
3.14	6.28	0.50	6.24	19.61	PVC	0.01
					PE (<9"dia)	0.015
					PE (>12"dia)	0.02
					PE(9-12"dia)	0.017
					CMP	0.025
					ADS N12	0.012
					HCMP	0.023
					Conc	0.013

Created by: Mike O'Shea

## Water Quality Volume and Water Quality Flow Worksheet

Watershed: 

Site Pave Area
----------------

  
 Condition: 

Proposed
----------

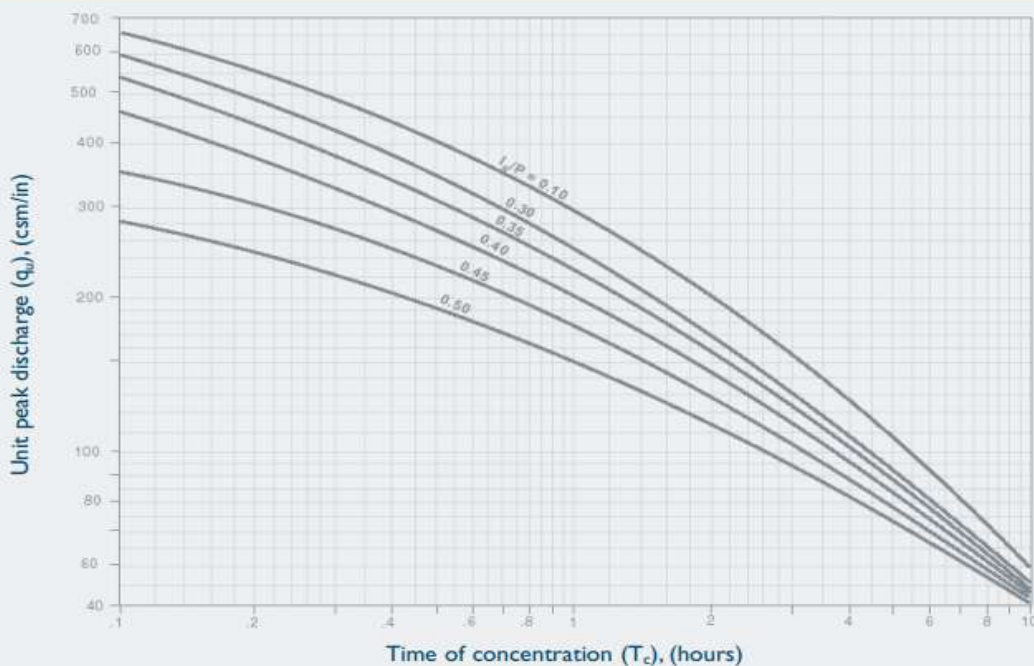
### Water Quality Volume

Design Precipitation, P:	1.3	in
Percent Impervious Cover, I:	83.4%	
Volumetric Runoff Coefficient, R:	0.801	
Area, A:	68,999.00	S.F.
Water Quality Volume, WQV:	<b>5,984</b>	C.F.

### Water Quality Flow

Runoff Depth, Q:	1.041	in
Runoff Curve Number, CN:	98	
Time of Concentration, T <sub>c</sub> : (>=10 min)	5.0	min
Time of Concentration, T <sub>c</sub> :	0.083	hr
Initial Abstraction, I <sub>a</sub> :	0.041	in
I <sub>a</sub> /P:	0.031538462	
Unit Peak Discharge, q <sub>u</sub> :	650	csm/in (from Exhibit 4-111 below)
Area, A:	0.00247	mi <sup>2</sup>
Water Quality Flow, WQF:	<b>1.67</b>	cfs

**Exhibit 4-111 Unit peak discharge (q<sub>u</sub>) for NRCS (SCS) type III rainfall distribution**



# 1000 SILAS DEANE HWY

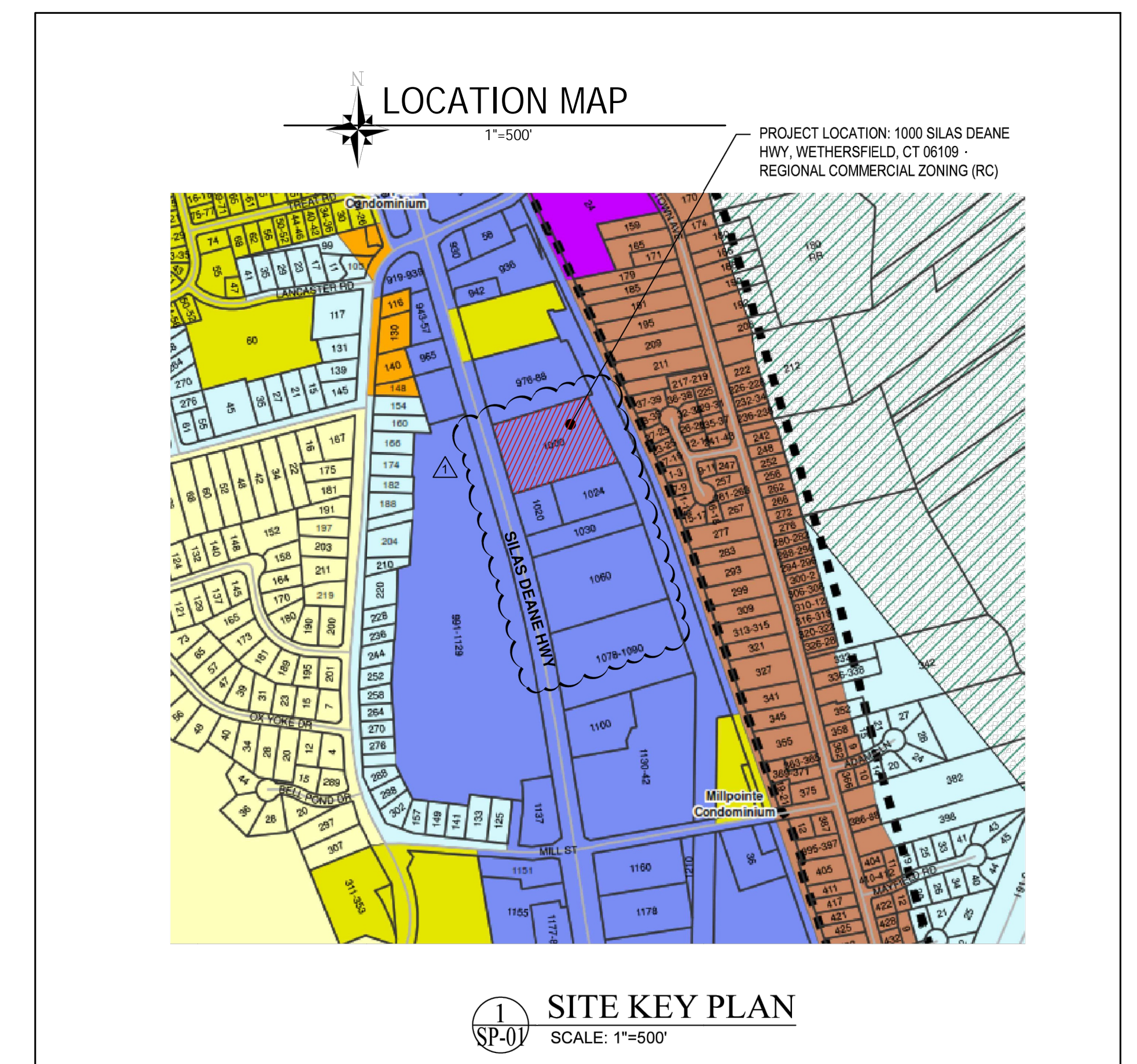
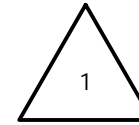
WETHERSFIELD, CONNECTICUT 06109

FOR SPECIAL PERMIT AND  
SITE PLAN AND DESIGN REVIEW  
OCT 24, 2025

REVISION NO. 1 - 12/04/2025  
REVISION NO. 2 - 01/09/2026

## DRAWING LIST

SHEET NUMBER	TITLE
---	COVER SHEET
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY
GN-100	GENERAL NOTES
C-100	DEMOLITION PLAN
C-200	LAYOUT PLAN
C-300	GRADING PLAN
C-400	DRAINAGE AND UTILITY PLAN
C-500	EROSION AND SEDIMENTATION CONTROL PLAN
C-600	PLANTING PLAN
C-601	LIGHTING PLAN
C-700	SITE DETAILS
C-701	SITE DETAILS
C-702	SITE DETAILS
C-703	SITE DETAILS
C-704	EROSION AND SEDIMENTATION CONTROL DETAILS
C-705	ESC DETAILS



**FREEMAN**  
COMPANIES

LANDSCAPE ARCHITECT / CIVIL ENGINEER

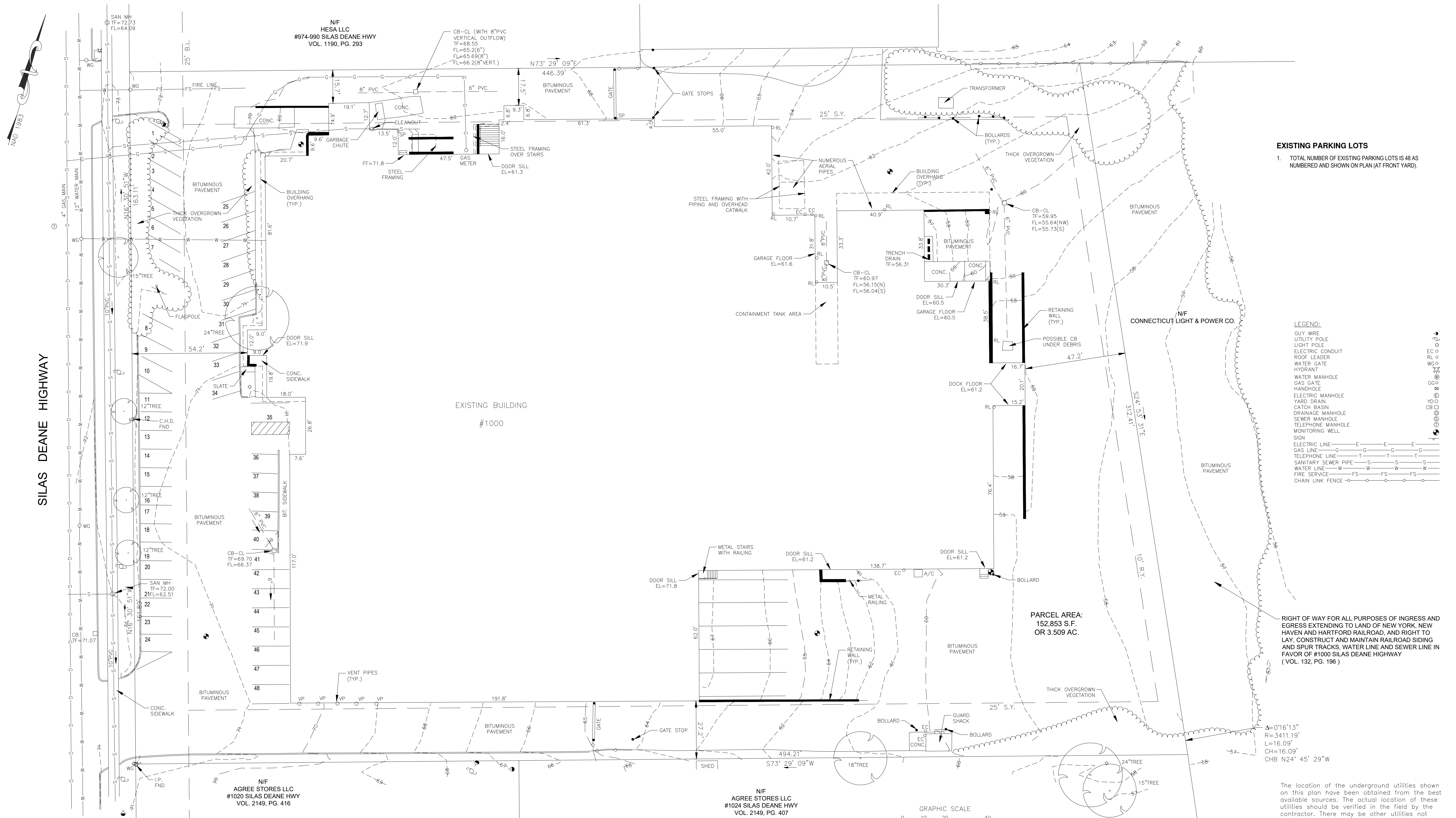
FREEMAN COMPANIES  
36 JOHN STREET  
HARTFORD, CONNECTICUT 06106  
P 800.604.5141

APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE

DATE SIGNED

R:\C:\M\WETHERSFIELD\1000 Silas Deane Hwy-Wethersfield\Drawings\T-SRV-2023.dwg



**EXISTING PARKING LOTS**  
1. TOTAL NUMBER OF EXISTING PARKING LOTS IS 48 AS NUMBERED AND SHOWN ON PLAN (AT FRONT YARD).

**LEGEND:**

GUY WIRE	—	—
UTILITY POLE	—	—
LIGHT POLE	—	—
ELECTRIC CONDUIT	—	—
ROOF LEADER	—	—
WATER GATE	—	—
HYDRANT	—	—
WATER MANHOLE	—	—
GAS GATE	—	—
HANDHOLE	—	—
ELECTRIC MANHOLE	—	—
YARD DRAIN	—	—
CATCH BASIN	—	—
DRAINAGE MANHOLE	—	—
SEWER MANHOLE	—	—
TELEPHONE MANHOLE	—	—
MONITORING WELL	—	—
SIGN	—	—
ELECTRIC LINE	—	—
GAS LINE	—	—
TELEPHONE LINE	—	—
SANITARY SEWER PIPE	—	—
WATER LINE	—	—
FIRE SERVICE	—	—
CHAIN LINK FENCE	—	—

RIGHT OF WAY FOR ALL PURPOSES OF INGRESS AND EGRESS EXTENDING TO LAND OF NEW YORK, NEW HAVEN AND HARTFORD RAILROAD, AND RIGHT TO LAY, CONSTRUCT AND MAINTAIN RAILROAD SIDING AND SPUR TRACKS, WATER LINE AND SEWER LINE IN FAVOR OF #1000 SILAS DEANE HIGHWAY (VOL. 132, PG. 196)

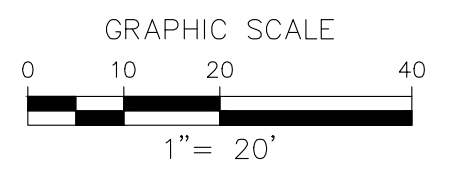
The location of the underground utilities shown on this plan have been obtained from the best available sources. The actual location of these utilities should be verified in the field by the contractor. There may be other utilities not shown on these plans. Any damage made to existing utilities by the contractor shall be the sole responsibility of the contractor.

- SURVEY NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED OCT. 26, 2018 AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUG. 29, 2019. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY T-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER IMPROVEMENTS.
  2. AT THE TIME OF THE FIELD SURVEY THERE WERE LARGE AMOUNTS OF VEGETATION OVERGROWTH, GARBAGE, LUMBER AND VARIOUS MATERIAL STOCKPILES ON SITE. THERE MAY BE TOPOGRAPHIC AND PLANIMETRIC FEATURES AND UTILITIES WHICH WERE OBSERVED BY THE ABOVE AND MAY NOT BE REFLECTED ON THIS SURVEY.
  3. PROPERTY IS LOCATED IN REGIONAL COMMERCIAL ZONE.
  4. THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

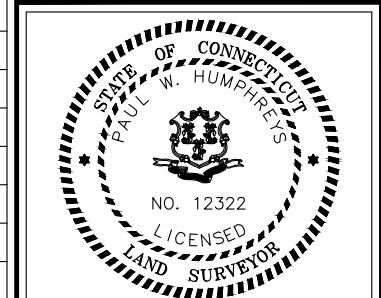
- MAP REFERENCES:**
1. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP, TOWN OF WETHERSFIELD, HARTFORD - MIDDLETOWN ROAD FROM CHURCH STREET SOUTHERLY TO THE ROCKY HILL TOWN LINE, ROUTE NO. 10, SCALE: 1"= 40', DATE: JUNE 30, 1931, SHEET 3 OF 4".
  2. "PROPERTY SURVEY FOR THE CAPITOL CITY LUMBER CO. LOCATED ON SILAS DEANE HIGHWAY, WETHERSFIELD, CONN. SCALE: 1"= 50', JAN. 3, 1950" BY PHILIP J. LACAVA.
  3. "SITE PLAN, PROPOSED ADDITION, PROPERTY OF GOODYEAR TIRE COMPANY, 1020 SILAS DEANE HIGHWAY, WETHERSFIELD, CONNECTICUT, SCALE: 1"= 20', DATE: 7/7/98" BY CLOSE, JENSEN & MILLER, P.C.
  4. "BOUNDARY SURVEY, PROPERTY OF COLONIAL ARMS ASSOCIATES, LLC, 966 SILAS DEANE HIGHWAY, WETHERSFIELD, CONNECTICUT, SCALE: 1"= 20', DATE: JAN. 16, 1997" BY CLOSE, JENSEN & MILLER, P.C.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

By *Paul W. Humphreys*  
PAUL W. HUMPHREYS, L.S.  
LIC. NO. 12322



No.	Date	Description



<i>C. J. M.</i> Close, Jensen & Miller, P.C. Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375	Compiled <b>E.T.J.</b> P.C. Check <b>J.T.</b> Designed Drawn <b>E.T.J.</b> Checked <b>P.W.H.</b> Scale <b>1"= 20'</b> Date <b>6/27/23</b> Sheet <b>1</b> Of <b>1</b> Job No. <b>D047</b> File No.
	<b>PROPERTY SURVEY</b> PROPERTY OF <b>KCH TRADING INC.</b> 1000 SILAS DEANE HIGHWAY WETHERSFIELD, CONNECTICUT

## SITE PLAN NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; TOWN OF WETHERSFIELD STANDARDS AND CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING CONNECTICUT DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- REFER TO DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING/CONSTRUCTION. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE RECOMMENDED SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL AND SEDIMENT CONTROL NARRATIVE OR SUBMIT AN ALTERNATE PLAN FOR APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.
- SHOULD ANY UNKNOWN OR INCORRECTLY LOCATED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE TOWN. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVING AS APPLICABLE, UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFICMEN AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER, AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE TO BE UTILIZED PRIOR TO STRIPING.
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR RESERVED SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OF PERSONNEL OR TO SUPERVISE SAFETY AND DO NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH OSHA CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING/CONSTRUCTION PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND TOWN RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 922-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- FORM D19 IS THE LATEST CD DOT SPECIFICATION AT THIS TIME. ANY REFERENCE MADE TO OLDER VERSIONS SHALL REFER TO THE LATEST VERSION.
- GRADE TO INSURE POSITIVE DRAINAGE AWAY FROM ALL SIDES OF BUILDING FOUNDATIONS. PREVENT PONDING OF WATER.
- CONCRETE LANDINGS AND PATIOS SHALL PITCH AT 2% (MAX) SLAVE AWAY FROM BUILDINGS.
- SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
- RESERVED PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ACCESSIBLE RAMPS SHALL HAVE A MAX SLOPE OF 8%.

## SEDIMENT AND EROSION CONTROL NOTES

- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY TOWN OF WETHERSFIELD. THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION TRAPS-BASINS, TEMPORARY DIVERSION SWALES AND ANTI-TRACKING PADS, SHALL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- THE DRAWINGS ARE ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL MEASURES FOR THIS SITE. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN ARE SHOWN IN A GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL EROSION CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO STORM DRAINAGE SYSTEMS AND/OR WATERCOURSES. ACTUAL SITE CONDITIONS OR SEASONAL AND CLIMATIC CONDITIONS MAY WARRANT ADDITIONAL CONTROLS OR CONFIGURATIONS WHEN DIRECTED BY THE ENGINEER. SEE SEDIMENT AND EROSION CONTROL DETAILS AND SUGGESTED CONSTRUCTION SEQUENCE FOR MORE INFORMATION. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED. COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- A BOND MAY BE REQUIRED TO BE POSTED WITH THE GOVERNING AUTHORITY FOR THE EROSION CONTROL INSTALLATION AND MAINTENANCE.
- THE CONTRACTOR SHALL APPLY THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THE PLAN IN CONJUNCTION WITH CONSTRUCTION SEQUENCING, SUCH THAT ALL ACTIVE WORK ZONES ARE PROTECTED. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPAL OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CONSTRUCTION SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS WEEKLY AND WITHIN 24 HOURS OF A STORM THAT CREATES A DISCHARGE TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.

## DEMOLITION NOTES

- ALL STRUCTURES, LIGHT POLES, AND POSTS, INCLUDING FOUNDATIONS AND FOOTINGS SHOWN ON THIS PLAN ARE TO BE REMOVED FROM SITE, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE INSTALLED PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION WORK AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG, ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER INCLUDING STORMWATER PIPING, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO CONSTRUCTION TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS INCLUDING STORMWATER PIPING.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION AND SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS, AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- THE CONTRACTOR SHALL PUMP OUT FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE DEP REQUIREMENTS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL ADHERE TO ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFICMEN/OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER, OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- EXISTING ELECTRIC SERVICES SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH EVERSOURCE REQUIREMENTS. THE EXISTING LIGHT POLE, FOUNDATION, CONDUITS, AND WIRES SHALL BE REMOVED AND DISPOSED. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE THIS WORK WITH THE ELECTRIC COMPANY AND PAY NECESSARY FEES.
- BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS-OF-WAY AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE CONNECTICUT DOT AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, TOWN OF WETHERSFIELD.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH THE OWNER AND THE ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CALL BEFORE YOU DIG MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- THE CONTRACTOR SHALL COMPLY WITH OSHA CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- ALL TREE STUMPS WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED.

## UTILITIES NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) & METROPOLITAN DISTRICT COMMISSION (MDC) TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC MEN AS REQUIRED, OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
- THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESSEEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING, AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY TOWN OF WETHERSFIELD.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL SHALL MAINTAIN (10 MIN. HORIZONTAL AND 1.5 VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING, UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND ENGINEER.
- RELOCATION OF UTILITY PROVIDER FACILITIES, SUCH AS POLES, SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN 8' LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- THE CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
- BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER. A 6-INCH TO 18-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED SANITARY PIPING.
- THE CONTRACTOR SHALL PROVIDE ALL BONDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF-FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- MANHOLE RIMS, YARD DRAINS, AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
- THE SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND ELECTRICAL SERVICES FOR SITE LIGHTING AND SIGNS WITH THE ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF WETHERSFIELD.
- THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
- THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
- ELECTRIC SERVICE SHALL BE INSTALLED UNDERGROUND AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND BACKFILL THE CONDUITS FOR ELECTRIC SERVICE. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER STANDARDS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY ELECTRIC UTILITY PROVIDER. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
- THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY.
- FOR UTILITY TRENCH DETAILS, REFER TO SITE DETAILS.
- EXISTING STRUCTURES TO REMAIN ARE TO BE RESET AS REQUIRED TO MATCH NEW GRADES.
- FINAL TOP OF FRAME ELEVATIONS FOR NEW UTILITY STRUCTURES MAY NEED TO BE FIELD ADJUSTED TO COORDINATE WITH SITE CONDITIONS AND FINAL GRADING. (TYPICAL)
- REFER TO BUILDING PLANS FOR CONTINUATION OF WATER, FIRE PROTECTION, GAS, SANITARY SEWER, ELECTRICAL, AND TELECOMMUNICATION SERVICES.
- REFER TO FIRE PROTECTION PLANS FOR CONTINUATION, LOCATION, AND DETAILS OF FIRE DEPARTMENT CONNECTION.

SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

- DIRECT ALL DEWATERING PLUMB DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY SEDIMENT TRAPS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR AND APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS ON THE SITE. PROPER SANITARY DEVICES SHALL BE MAINTAINED ON-SITE AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS ON THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION AND RESPONSE-CONTAINMENT.
- COVERED METAL WASTE CONTAINERS SHALL BE PROVIDED AT THE SITE TO FACILITATE THE COLLECTION OF REFUSE MATERIAL GENERATED FROM CONSTRUCTION ACTIVITIES. SUCH MATERIAL SHALL NOT BE BURIED OR BURNED AT THE SITE.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE. UPON REMOVAL OF ALL PAVEMENT, THE CONTRACTOR SHALL PLACE STONE OVER DISTURBED AREAS TO SERVE AS STAGING AREAS TO THE SATISFACTION OF THE ENGINEER.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVEL WAYS TO KEEP THE TRAVEL WAYS DAMP. DUMP TRUCK LOADS EXITING THE SITE SHALL BE COVERED.
- TURF ESTABLISHMENT SHALL BE PERFORMED OVER ALL DISTURBED SOIL, UNLESS THE AREA IS UNDER ACTIVE CONSTRUCTION, IT IS COVERED IN STONE OR SCHEDULED FOR PAVING WITHIN 14 DAYS. TEMPORARY SEEDING OR NON-LIVING SOIL PROTECTION OF ALL EXPOSED SOILS AND SLOPES SHALL BE INITIATED WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK IN AREAS TO BE LEFT LONGER THAN 14 DAYS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOTS, CLEAN THE STORM DRAINAGE SYSTEMS AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS ONCE THE SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN RECEIVED FROM TOWN OF WETHERSFIELD AND/OR ENGINEER.
- REFER TO SHEET C-400 FOR SEDIMENT AND EROSION CONTROL NARRATIVE AND DETAILS.

APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE

DATE SIGNED

## GRADING AND DRAINAGE NOTES

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON THE DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE STATE AND TOWN OF WETHERSFIELD REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, EXCEPT CONNECTICUT DOT ENCROACHMENT PERMIT BOND, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFICMEN/OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND TOWN OF WETHERSFIELD.
- SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF SOFT SUBGRADE MATERIAL AS ORDERED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
- THE CONTRACTOR SHALL COMPACT FILL PER THE GEOTECHNICAL REPORT. MAXIMUM LIFTS UNDER ALL PARKING AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK, SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
- ALL DISTURBANCE INCURRED TO PUBLIC, MUNICIPAL, COUNTY, STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF WETHERSFIELD AND STATE OF CONNECTICUT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATIONS MANUAL AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE DOT SPECIFICATIONS AS APPLICABLE FOR THE LOCATION OF THE WORK. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.
- ALL EXISTING AND PROPOSED FRAMES, RIMS, AND COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR DESIGNATED MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.

PREPARED FOR

KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR

KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION	REVISIONS
1	12/05/2025	Response to Town comments	
2	01/09/2026	Response to Updated Town comments	

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SCALE:  
PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

GENERAL NOTES

SHEET NUMBER:  
**GN-100**

**DEMOLITION LEGEND**

- LIMIT OF DISTURBANCE
- SAW CUT PAVEMENT
- REMOVE & DISPOSE (R&D) CURB OR FENCE
- REMOVE & DISPOSE (R&D) PAVEMENT
- REMOVE & DISPOSE (R&D) STRUCTURE & FOUNDATION BASE
- R** REMOVE & DISPOSE (R&D) TREE OR STUMP
- P** TREE PROTECTION TREE TO REMAIN
- X** REMOVE & DISPOSE (R&D)
- SILT SACK

**DEMOLITION NOTES**

1. SITE PLAN BASED ON SURVEY PROVIDED BY "CLOSE, JENSEN & MILLER, P.C.". DATED ON JUNE 27, 2023.
2. LOT AREA = 152,853 SF (OR 3.509 AC.). AREA OF BUILDING = 77,296 SF.
3. TOTAL AREA OF EXISTING VEGETATION AND NON PAVED AREA = 858.0 649.0 1272.0 1345.7 2005.0 = 6129.7 SF.
4. TREES ALONG SILAS DEANE HIGHWAY SHALL BE PROTECTED DURING CONSTRUCTION.
5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 14 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
6. TREE PROTECTION AREA TO BE ESTABLISHED 10' OUTSIDE THE DRIP EDGE OF THE TREE CANOPIES INDICATED. ANY WORK TO BE CONDUCTED IN THESE AREA SHALL BE COORDINATED WITH A LICENSED CT ARBORIST.
7. THE EXISTING DRIVEWAY APRON AND CURBING SHALL BE REMOVED AND REPLACED DURING THE FINAL STAGES OF CONSTRUCTION IN ACCORDANCE WITH CT DOT DETAILS TO MINIMIZE IMPACTS TO PEDESTRIAN AND VEHICLE TRAVEL WITH THE STATE RIGHT-OF-WAY. FOR DIMENSIONS OF PROPOSED DRIVEWAY APRON, REFER TO SITE LAYOUT PLAN.
8. UNUSED TRUCKS, SCRAP METAL, CONSTRUCTION DEBRIS, ETC. OUTSIDE OF THE BUILDING

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CHAIRMAN'S SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

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KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



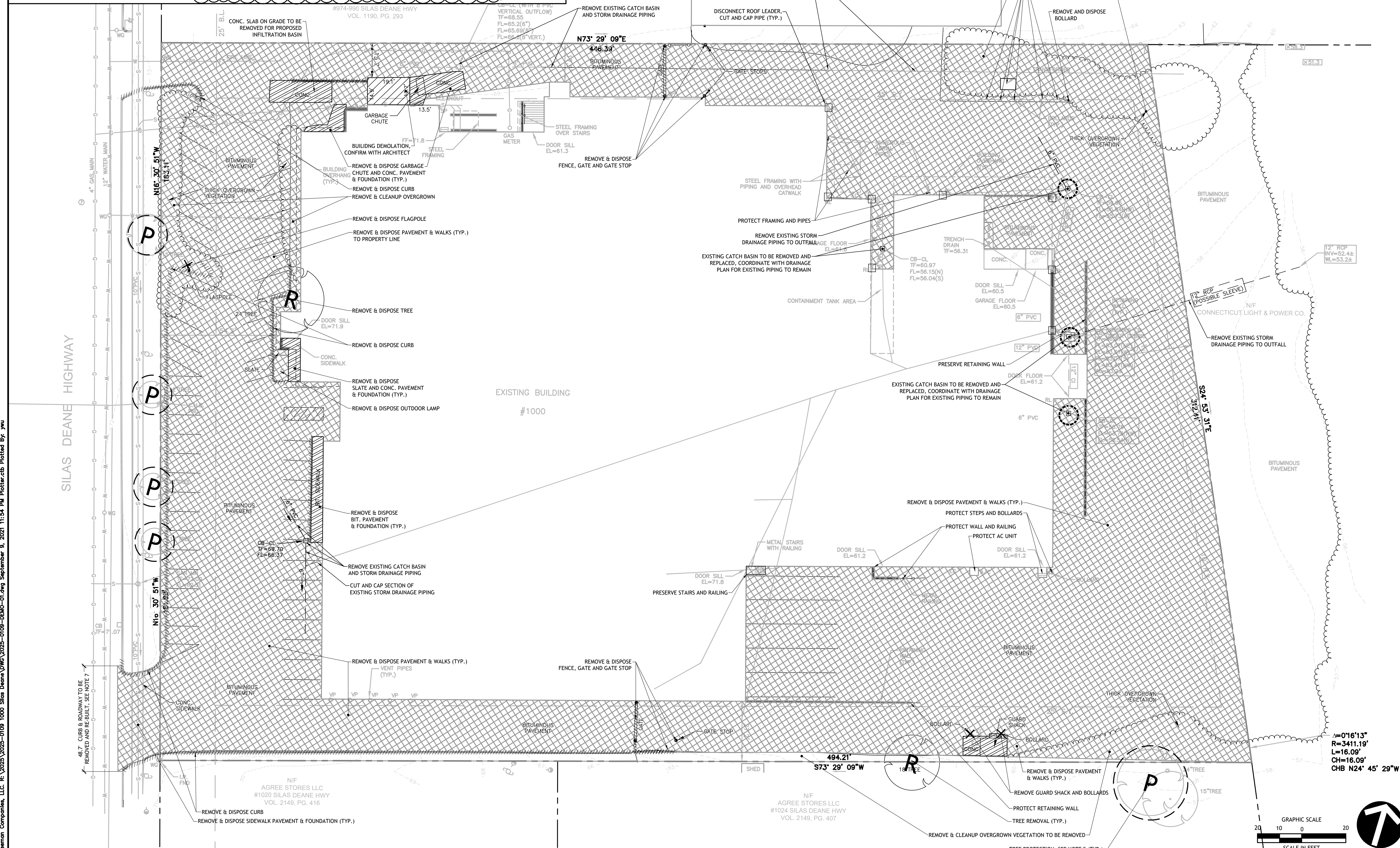
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DATE: 11/05/2025  
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TITLE:

DEMOLITION PLAN  
SHEET NUMBER:  
**C-100**

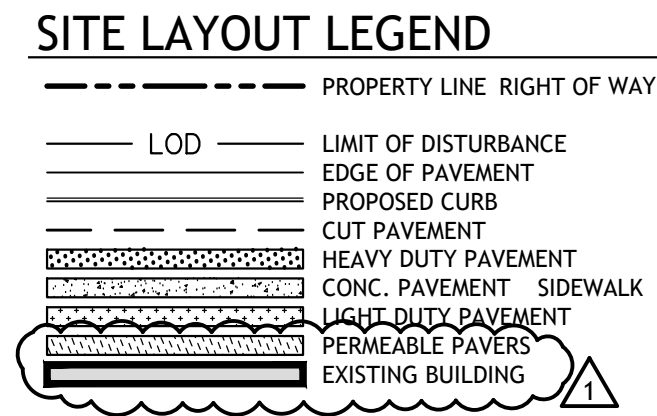


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**SITE NOTES**

- NO OUTSIDE STORAGE ALLOWED AT ALL TIMES.
- NOTWITHSTANDING CURRENT CONSTRUCTION ACTIVITIES, ACCESS RIGHTS IN FAVOR OF THE PROPERTY LOCATED AT 974-990 SILAS DEANE HIGHWAY SHALL REMAIN IN FULL FORCE AND EFFECT. THIS DESIGN INTENT ENSURES THAT UNHINDERED INGRESS VIA THE NORTHERN DRIVEWAY APRON SHALL BE MAINTAINED.



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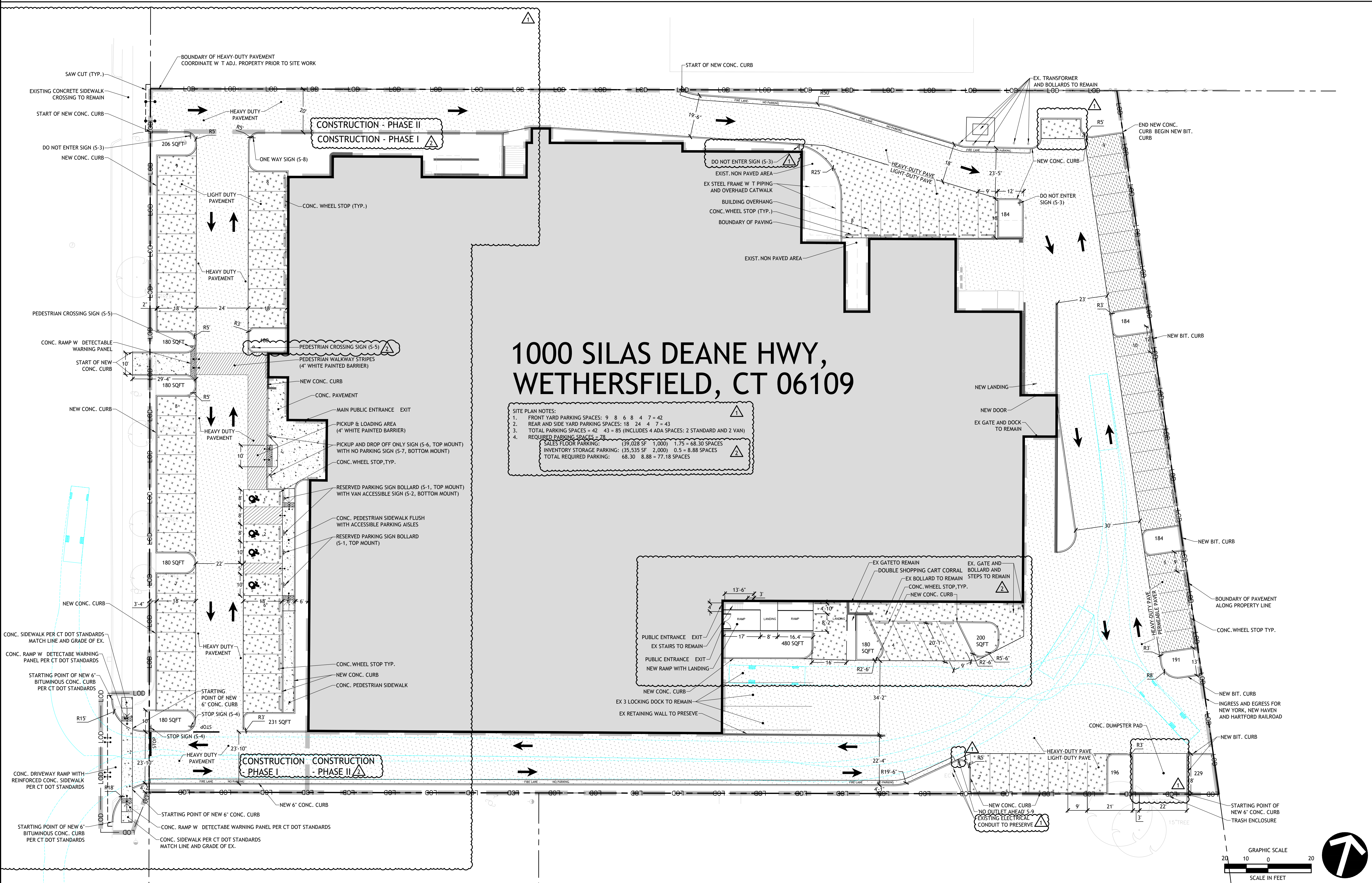
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DATE: 11/05/2025  
CAD FILE:

TITLE: LAYOUT PLAN  
SHEET NUMBER: C-200



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**GRADING AND DRAINAGE LEGEND**

- WETLAND
- 100' UPLAND REVIEW AREA
- LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING BUILDING
- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- YARD DRAIN
- AREA DRAIN
- CATCH BASIN TYPE CL
- CATCH BASIN TYPE C
- CATCH BASIN TYPE CL - DOUBLE
- DIRECTION OF SURFACE FLOW
- SLOPE ARROW
- ACCESSIBLE ENTRANCE
- PROPOSED DRAINAGE MANHOLE

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WETHERSFIELD, CT 06109

OWNER FOR  
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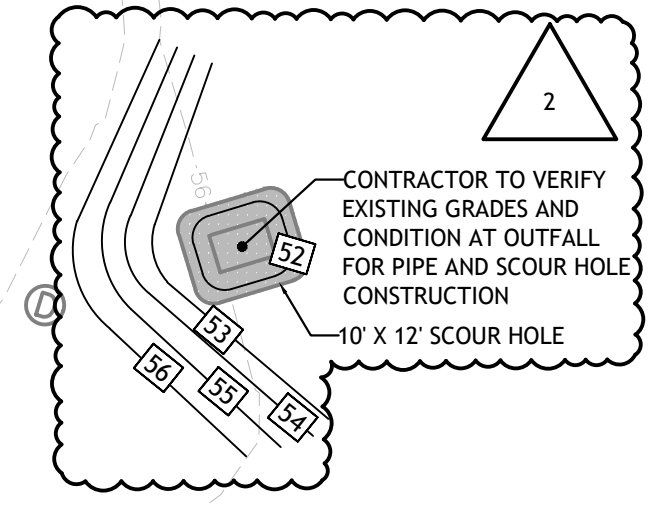
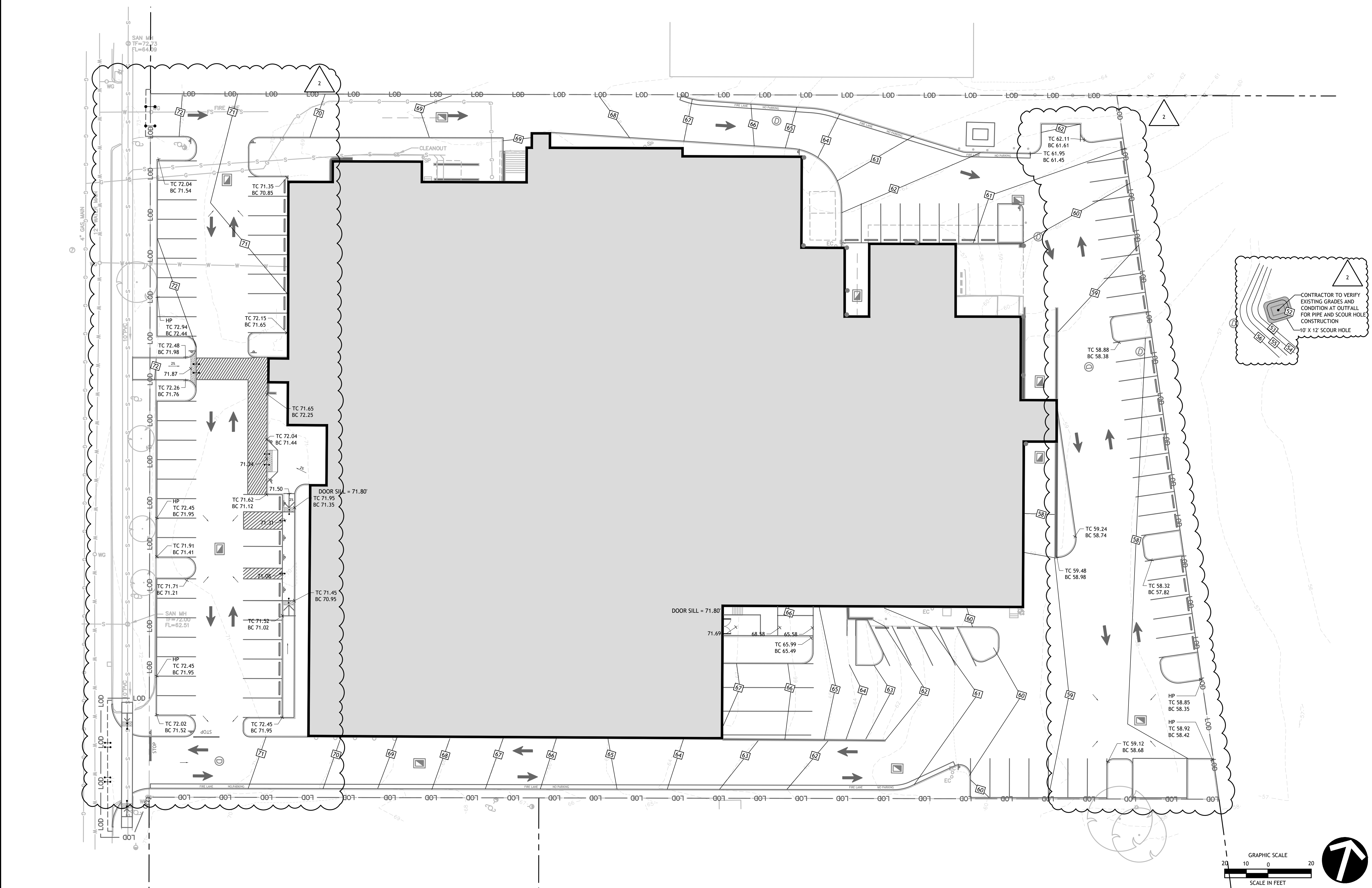


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DATE: 11/05/2025  
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**GRADING PLAN**  
SHEET NUMBER:  
**C-300**

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**DRAINAGE LEGEND**

- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- EXISTING DRAINAGE LINE PER RECORD DRAWINGS
- CATCH BASIN TYPE CL
- CATCH BASIN TYPE C
- STORM DRAIN MANHOLE
- EXISTING ROOF LEADER
- DISCONNECTED ROOF LEADER

**DRAINAGE NOTES**

1. EXISTING PIPE LOCATIONS SHOWN ON PLAN ARE TAKEN FROM GRADING AND DRAINAGE PLAN FROM PREVIOUS PLANS BY PRIOR ENGINEER. THE UTILITY INFORMATION FROM THOSE DRAWINGS WAS TAKEN FROM (1) SURVEY PROVIDED BY CLOSE, JENSEN, & MILLER, P.C. DATED JUNE 27, 2023 AND (2) "MANUFACTURING BUILDING UNDERGROUND UTILITIES" BY WALKER ENGINEERING DATED ON DECEMBER 22, 1987.
2. EXISTING STORMWATER CONNECTIONS ARE TO BE VERIFIED AND INSPECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INFORM THE ENGINEER OF ANY DISCREPANCIES WITH THE PLANS OR COMPROMISED PIPES.
3. FREEMAN COMPLETED VERIFICATION OF CATCH BASINS, INVERTS AND OUTFALL LOCATED TO THE WEST OF THE EXISTING BUILDING. IDENTIFIED ON THIS PLAN.
4. ALL ROOF LEADERS TO BE DISCONNECTED FROM SYSTEM AND DISCHARGED TO SURFACE SPLASH PADS.
5. ALL ROOF LEADERS TO BE DISCONNECTED FROM STORMWATER SYSTEM AND DISCHARGED TO GROUND.

6. EXISTING UTILITIES TO REMAIN. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS AND VERIFY UTILITY SIZES AND MATERIALS PRIOR TO CONSTRUCTION.

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**NOTICE TO ENGINEER (NOT TO BE INCLUDED ON THE PLANS)**

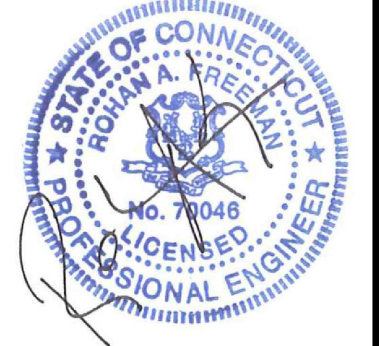
1. THE TOWN'S MS4 PERMIT ISSUED BY DEEP REQUIRES THE TOWN TO TRACK ALL CHANGES IN TOTAL IMPERVIOUS AREA AND DISCONNECTED IMPERVIOUS AREA (DZIA) WITH THE GOAL OF REDUCING 2% OF TOTAL DZIA IN TOWN BY THE END OF THE PERMIT TERM IN 2022 AND THEN REDUCING DZIA 1% EACH YEAR THEREAFTER.
2. DZIA IS DEFINED AS IMPERVIOUS AREA FROM WHICH STORMWATER RUNOFF DISCHARGES DIRECTLY TO WATERS OF THE STATE OR DIRECTLY TO A STORM SEWER SYSTEM THAT DISCHARGES TO WATERS OF THE STATE.
3. IMPERVIOUS AREAS THAT DISCHARGE THROUGH A SYSTEM DESIGNED TO RETAIN THE APPROPRIATE PORTION OF THE WATER QUALITY VOLUME (WQV) ARE NOT CONSIDERED DZIA. THE "APPROPRIATE" PORTION OF WQV TO BE RETAINED IS:  
 FOR REDEVELOPMENT OF SITES THAT ARE CURRENTLY DEVELOPED WITH DZIA OF 40% OR MORE, ONE-HALF OF THE WQV FROM THE SITE MUST BE RETAINED.  
 OR  
 FOR NEW DEVELOPMENT AND REDEVELOPMENT OF SITES WITH LESS THAN 40% DZIA, THE ENTIRE WQV FROM THE SITE MUST BE RETAINED.
4. DETAILED CALCULATIONS FOR THE WQV AND STORAGE CAPACITY OF THE ASSOCIATED RETENTION SYSTEM MUST BE PROVIDED WITH THE APPLICATION MATERIALS FOR REVIEW.
5. THE TOWN REQUIRES DEVELOPMENT AND REDEVELOPMENT PROJECTS TO REDUCE TOTAL IMPERVIOUS COVER AND DZIA AT THE SITE TO THE MAXIMUM EXTENT PRACTICABLE THROUGH THE USE OF LOW IMPACT DEVELOPMENT (LID) PRACTICES OR OTHER MEASURES.
6. THE BELOW TABLE MUST BE FILLED IN AND INCLUDED ON THE SITE PLAN IN THE PLAN SET SUBMITTED WITH THE APPLICATION. SEPARATE PLANS (TO SCALE) SHOWING THE LIMITS OF TOTAL PRE- AND POST-DEVELOPMENT IMPERVIOUS AREA AND DZIA AT THE SITE MUST BE SUBMITTED WITH THE APPLICATION MATERIALS TO SUBstantiate THE VALUES PROVIDED IN THE TABLE.
7. CONTACT THE ENGINEERING DIVISION AT 860-721-2850 WITH ANY QUESTIONS REGARDING THESE REQUIREMENTS.

TOWN OF WETHERSFIELD MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	3.348 Ac	1.603 Ac
POST-DEVELOPMENT	3.200 Ac	1.392 Ac
NET CHANGE (+ OR -)	-0.148 Ac	-0.211 Ac

\*NOTE: POST-DEVELOPMENT IMPERVIOUS AREA AND DIRECTLY CONNECTED IMPERVIOUS AREA DO NOT INCLUDE PERVIOUS PAVEMENT.

PREPARED FOR  
**KCH TRADING INC**  
 1000 SILAS DEANE HWY,  
 WETHERSFIELD, CT 06109

OWNER FOR  
**KCH TRADING INC**  
 1000 SILAS DEANE HWY,  
 WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION
1	12/05/2025	Response to Town comments
2	01/09/2026	Response to Updated Town comments

**FREEMAN COMPANIES**  
 34 JOHN STREET, WETHERSFIELD, CT 06109  
 WWW.FREEMANCO.COM  
 860.721.2850  
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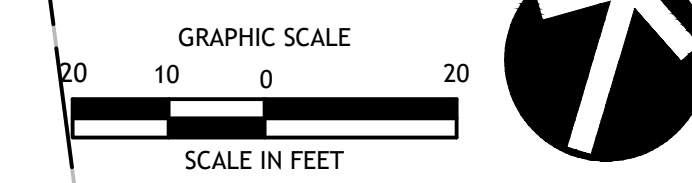
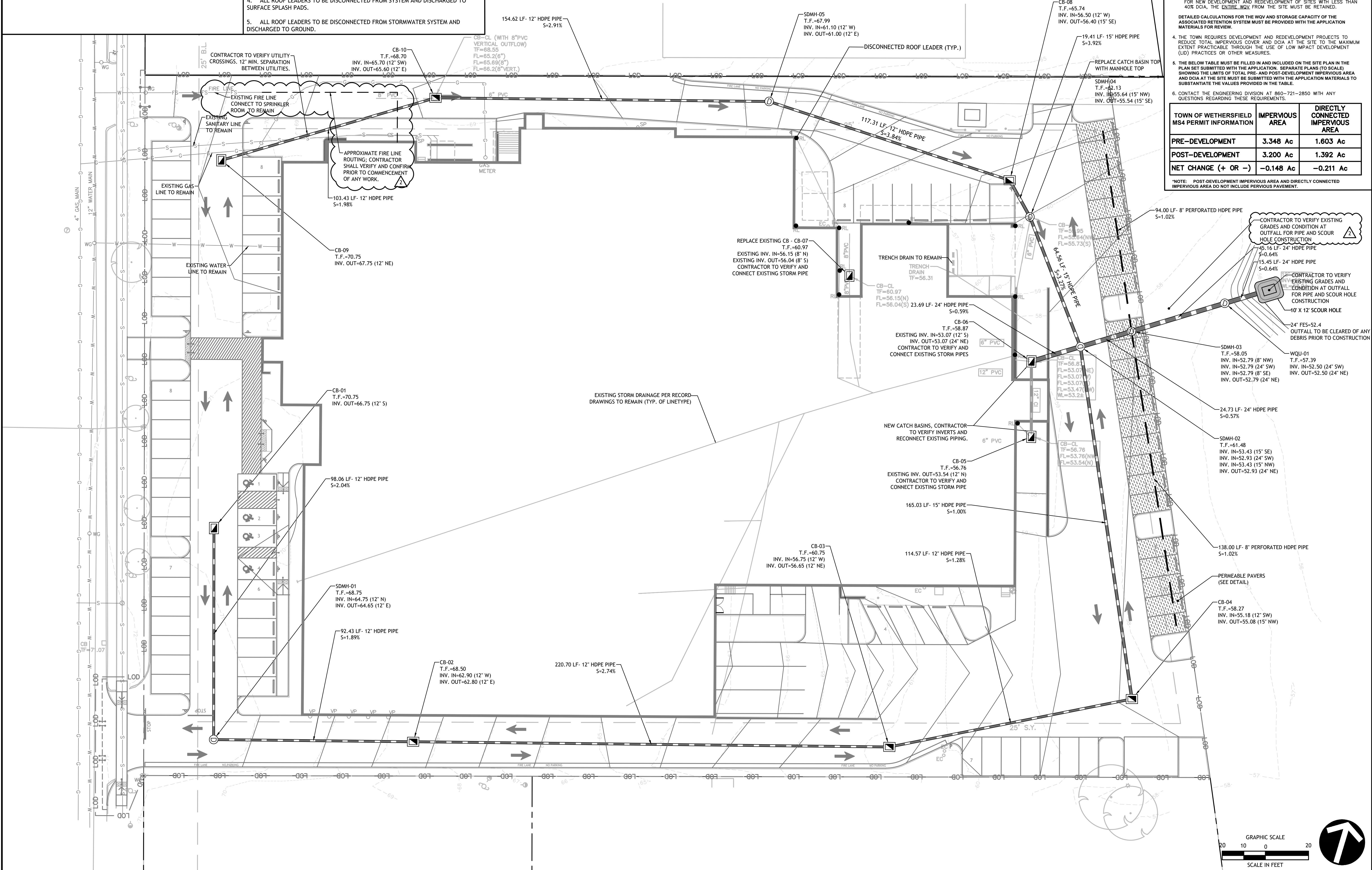
**1000 SILAS DEANE HWY**  
 WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
 DRAFTED: FC  
 CHECKED: FC  
 APPROVED: FC

SCALE:  
 PROJECT NO.: 2025-0109  
 DATE: 11/05/2025  
 CAD FILE:

TITLE:  
**DRAINAGE AND UTILITY PLAN**

SHEET NUMBER:  
**C-400**

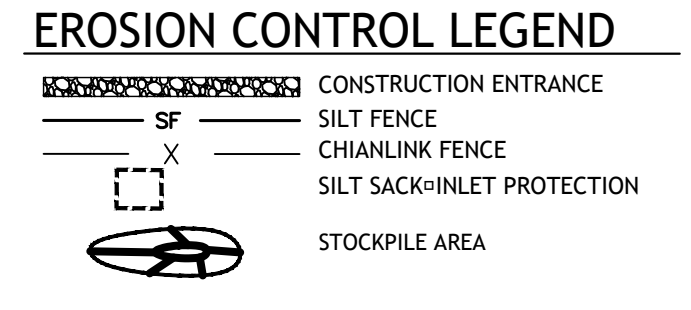


Freeman Companies, LLC. R:\2025\2025-0109 1000 Silas Deane Hwy\2025-0109-DRAINAGE-01.dwg September 9, 2021 9:29 PM Plotter.ctb Plotted By: yu

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**NOTES**

- REFER TO TYPICAL DETAILS ON SHEET C-705.
- ALL CATCH BASIN INLETS SHALL BE PROTECTED BY COMPOST FILTER SOCKS (C.F.S.) DURING CONSTRUCTION. REFER TO SHEET C-705 FOR COMPOSITE FILTER SOCKS DETAILS.
- THE EXISTING DRIVEWAY APRON AND CURBING SHALL BE REMOVED AND REPLACED DURING THE FINAL STAGES OF CONSTRUCTION IN ACCORDANCE WITH CT DOT DETAILS TO MINIMIZE IMPACTS TO PEDESTRIAN AND VEHICLE TRAVEL WITH THE STATE RIGHT-OF-WAY. FOR DIMENSIONS OF PROPOSED DRIVEWAY APRON, REFER TO SITE LAYOUT PLAN. TEMPORARY (EMERGENCY) IRON GATE DURING CONSTRUCTION FOR INGRESS AND EGRESS EXTENDING TO LAND OF NEW YORK, NEW HAVEN AND HARTFORD RAILROAD.

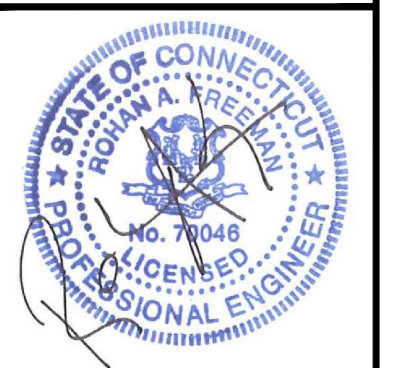


APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION
1	12/05/2025	Response to Town comments
2	01/09/2026	Response to Updated Town comments

**FREEMAN COMPANIES**  
LAND DEVELOPMENT ENGINEERING DESIGN CONSTRUCTION SERVICES  
36 JOHN STREET, WETHERSFIELD, CT 06109  
WWW.FREEMANCO.COM  
603.251.8500  
ELEVATE YOUR EXPECTATIONS

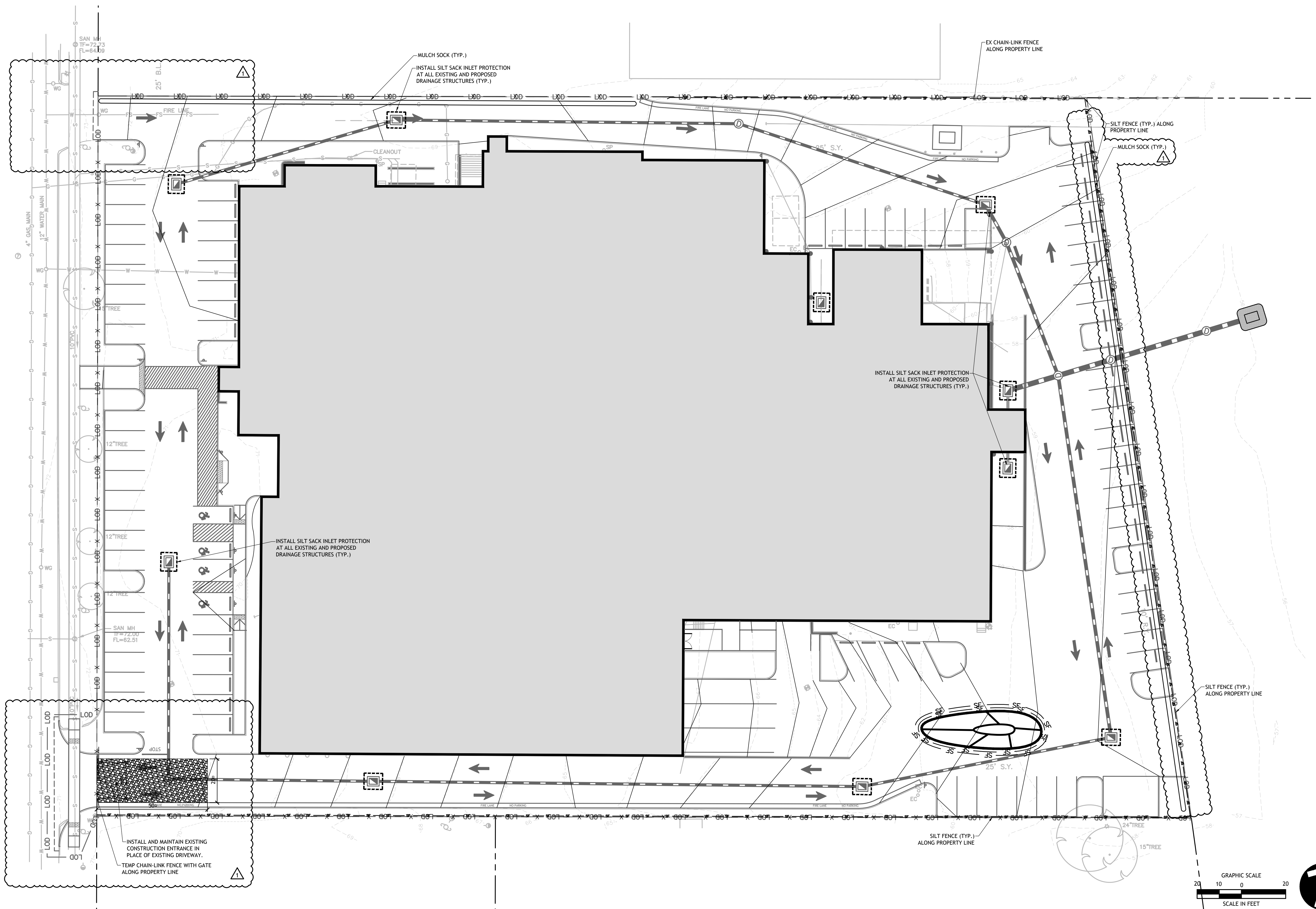
**1000 SILAS DEANE HWY**  
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC

SCALE: PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

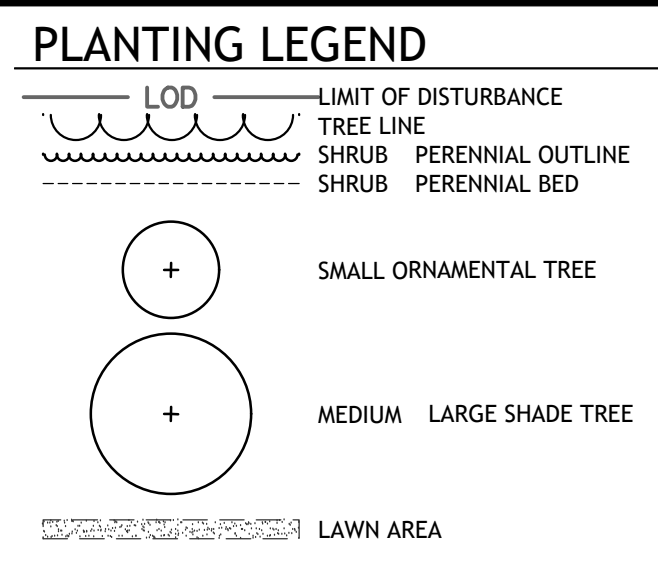
TITLE: **EROSION AND SEDIMENTATION CONTROL PLAN**

SHEET NUMBER: **C-500**



Freeman Companies, LLC. I:\2025\2025-0109\_1000\_silas\_deane\DWG\2025-0109-ESC-01.dwg September 9, 2021 11:41 PM Plotter.cab Plotted By: yxu

Qty	Key	Name-Botanical/Common	Mature Size	Planted Size	Light Req.	Notes	Landscaping Characteristics
5	GB	Gringo biloba 'F.S.UGA2' (Golden Collar) Gringo	40' Ht. 20' Spd.	2-1/2' - 2' cal.	Full Sun	Part Shade	B&B
5	CC	Cedrus canadensis Eastern Redwood	20-30' Ht. 25-35' Spd.	3-3 1/2' cal.	Full Sun	Part Shade	B&B
10	NS	Nyssa sylvatica Black Tupelo	4' Ht. 22' Spd.	3' - 3 1/2"	Full Sun	Part Shade	B&B
30	CSF	Cornus stolonifera 'Yellow' Annie's Red Twig Dogwood	3-4' Ht. Spd. 1' cont.	24-30"	Full Sun	Part Shade	B&B or cont.
47	FG	Fragaria virginiana Wild Strawberry	3' Ht. Spd. 18-24"	18-24"	Full Sun	Part Shade	B&B or cont.
30	JCS	Juniperus chinensis 'Sea Green' Sea Green Juniper	4' Ht. / 6' Spd. 3' Spd.	24-30"	Full Sun	cont.	B&B or cont.
60	JP	Juniperus x glauca 'Compacta' Compact Pfitzer Juniper	3' Ht. / 6' Spd. 3' Spd.	24-30"	Full Sun	cont.	B&B or cont.

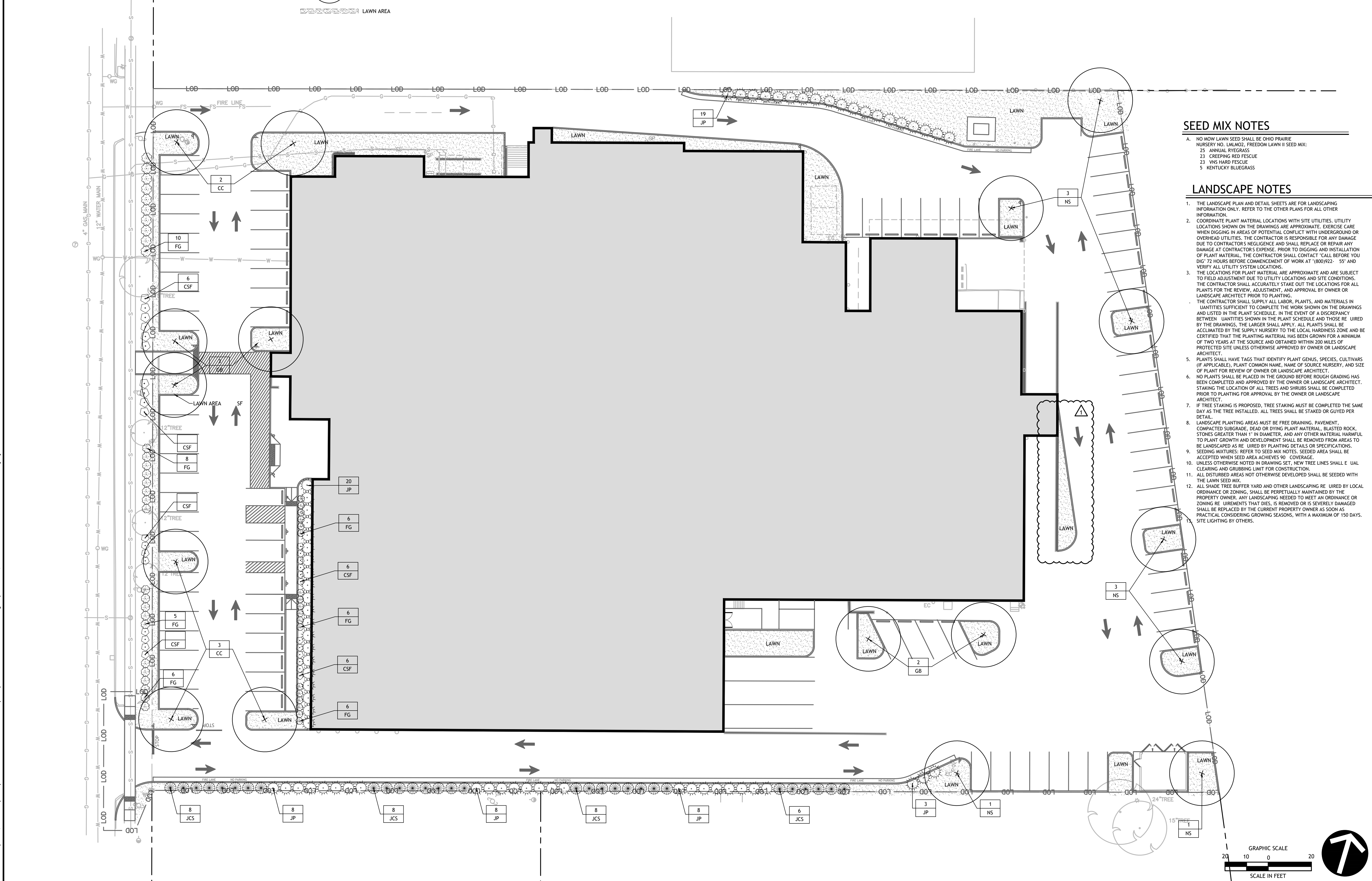
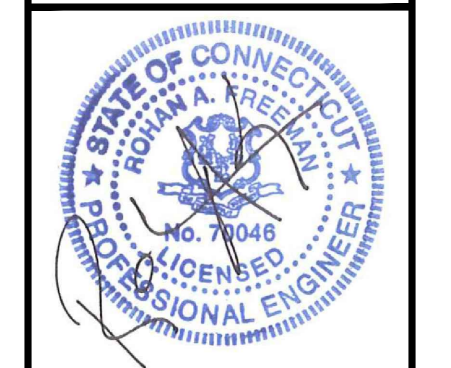


APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY.  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY.  
WETHERSFIELD, CT 06109



### SEED MIX NOTES

- A. NO MOW LAWN SEED SHALL BE OHIO PRAIRIE NURSERY NO. LNLMO2, FREEDOM LAWN II SEED MIX:
  - 25 ANNUAL RYEGRASS
  - 23 CREEPING RED FESCUE
  - 23 WNS HARD FESCUE
  - 5 KENTUCKY BLUEGRASS

### LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEETS ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE OTHER PLANS FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922- 555 AND VERIFY ALL UTILITY SYSTEM LOCATIONS.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROTECTED SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
5. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVARS (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
6. NO PLANTS SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
7. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
8. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING, PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
9. SEEDING MIXTURES; REFER TO SEED MIX NOTES. SEEDING AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.
10. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREE LINES SHALL BE MAINTAINED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
11. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDING WITH THE LAWN SEED MIX.
12. ALL SHADE TREE BUFFER YARD AND OTHER LANDSCAPING REQUIRED BY LOCAL ORDINANCE OR ZONING, SHALL BE PERPETUALLY MAINTAINED BY THE PROPERTY OWNER. ANY LANDSCAPING NEEDED TO MEET AN ORDINANCE OR ZONING REQUIREMENTS THAT DIES, IS REMOVED OR IS SEVERELY DAMAGED SHALL BE REPLACED BY THE CURRENT PROPERTY OWNER AS SOON AS PRACTICAL CONSIDERING GROWING SEASONS, WITH A MAXIMUM OF 150 DAYS. SITE LIGHTING BY OTHERS.

NO.	DATE	DESCRIPTION	REVISIONS
1	12/05/2025	Response to Town comments	
2	01/09/2026	Response to Updated Town comments	



# 1000 SILAS DEANE HWY

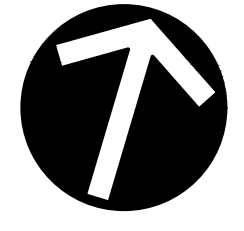
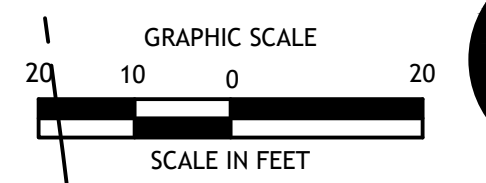
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
 DRAFTED: FC  
 CHECKED: FC  
 APPROVED: FC

SCALE:  
 PROJECT NO.: 2025-0109  
 DATE: 11/05/2025  
 CAD FILE:

TITLE:  
**PLANTING PLAN**

SHEET NUMBER:  
**C-600**



Freeman Companies, LLC. R:\2025\2025-0109-1000 Silas Deane\DWG\2025-0109-PLANTING-01.dwg September 9, 2021 12:07 AM Plotter.ctb Plotted By: jyw

Luminaire Schedule						
Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
9	WP3	RWL1-48L-20-3K7-3-U	0.900	2605	19.9	179.1
1	S3BC	VP-ST-2-72L-180-3K7-3-BC @20FT	0.900	16620	180	180
7	S4W	VP-ST-2-72L-180-3K7-4W @20FT	0.900	19938	177.02	1239.14
10	WP4	RWL1-48L-35-3K7-4W-U @11FT	0.900	4483	36.9	369
3	W4W	RWL1-48L-15-3K7-4W-U @11FT	0.900	1861	14.5	43.5
2	S4F	VP-ST-1-36L-105-3K7-4F-BC @20FT	0.900	10354	105	210

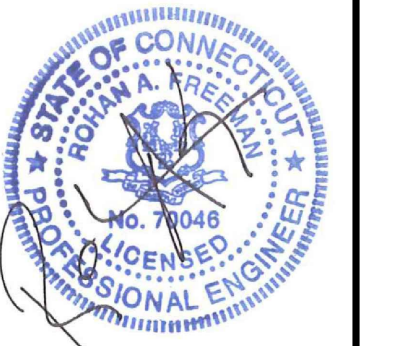
APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE

DATE SIGNED

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION
2	01/09/2026	Response to Updated Town comments
1	12/05/2025	Response to Town comments

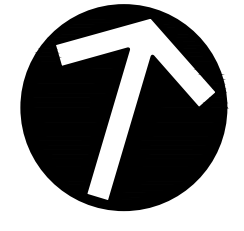
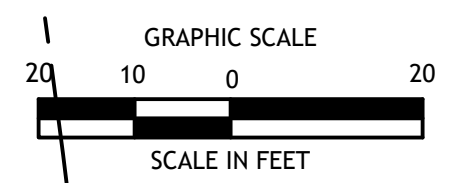
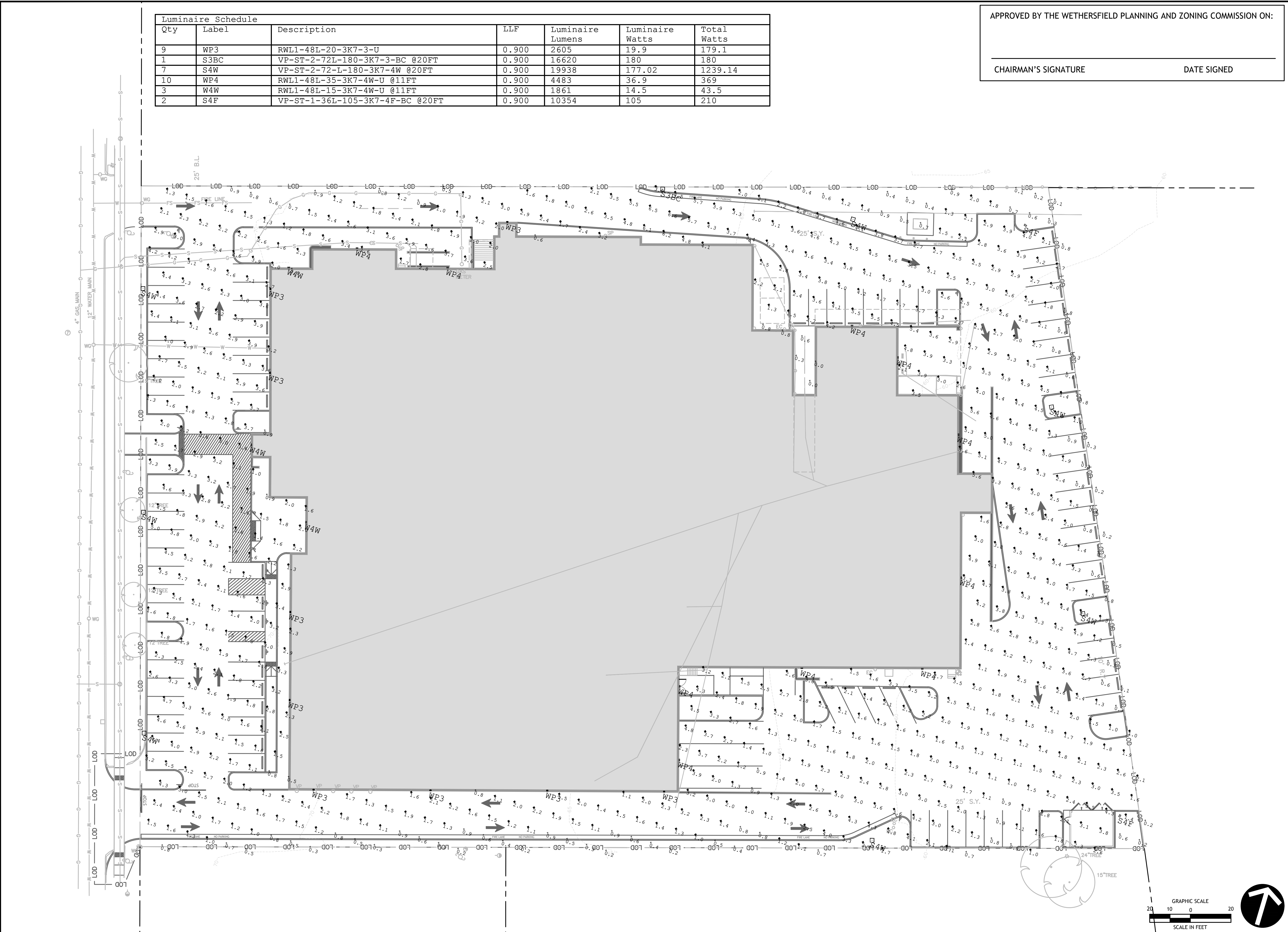
**FREEMAN**  
COMPANIES  
34 JOHN STREET, WETHERSFIELD, CT 06109  
WWW.FREEMANCO.COM  
ELEVATE YOUR EXPECTATIONS

**1000 SILAS DEANE HWY**  
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC  
SCALE: PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:  
TITLE:

LIGHTING PLAN  
SHEET NUMBER:  
**C-601**

Freeman Companies, LLC. R:\2025\2025-0109\_1000 Silas Deane\DWG\2025-0109-PLANTING-01.dwg September 9, 2021 12:13 AM Plotter.ctb Plotted By: yw



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APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

\_\_\_\_\_  
 CHAIRMAN'S SIGNATURE

\_\_\_\_\_  
 DATE SIGNED

PREPARED FOR  
 KCH TRADING INC  
 1000 SILAS DEANE HWY.  
 WETHERSFIELD, CT 06109

OWNER FOR  
 KCH TRADING INC  
 1000 SILAS DEANE HWY.  
 WETHERSFIELD, CT 06109

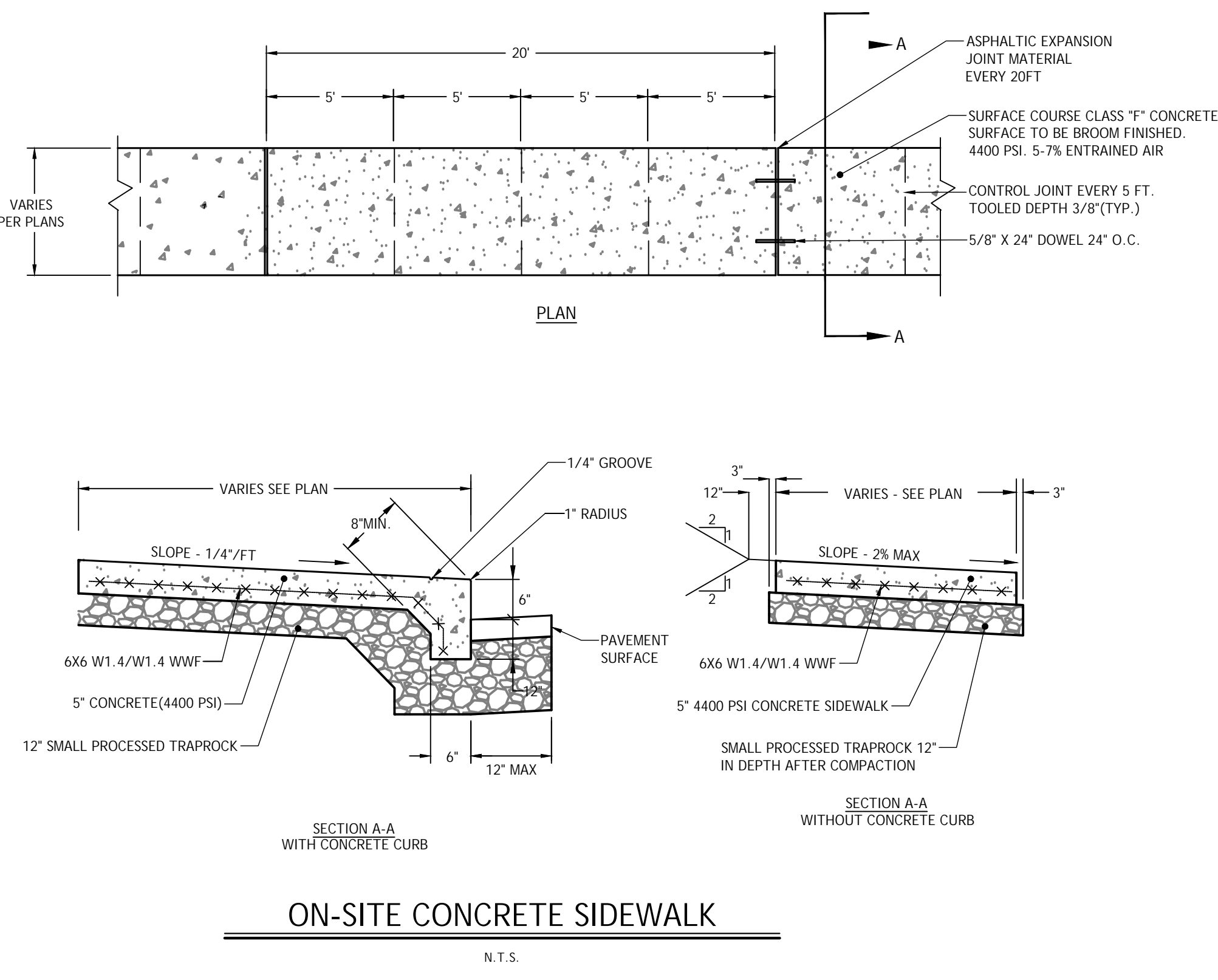
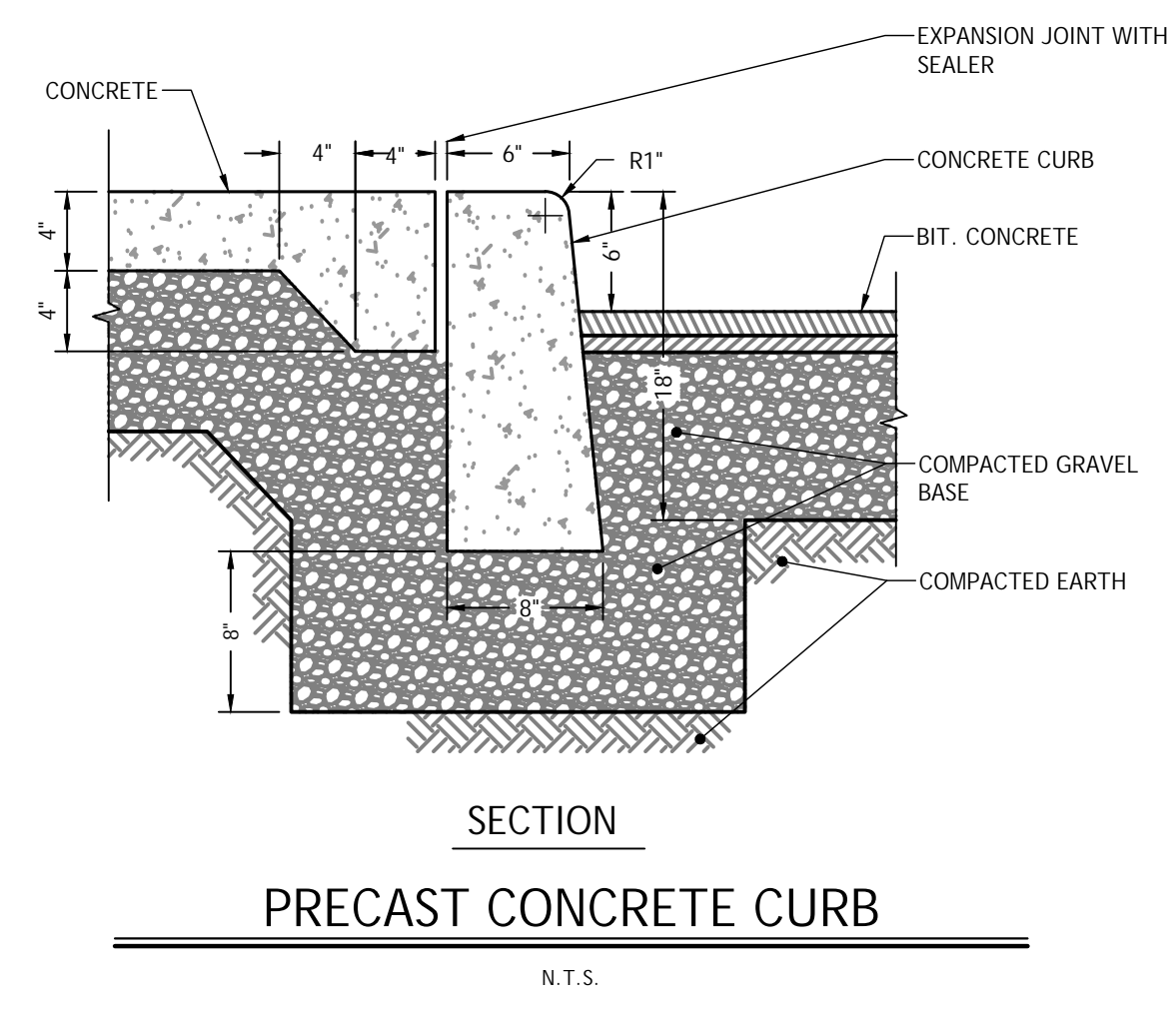
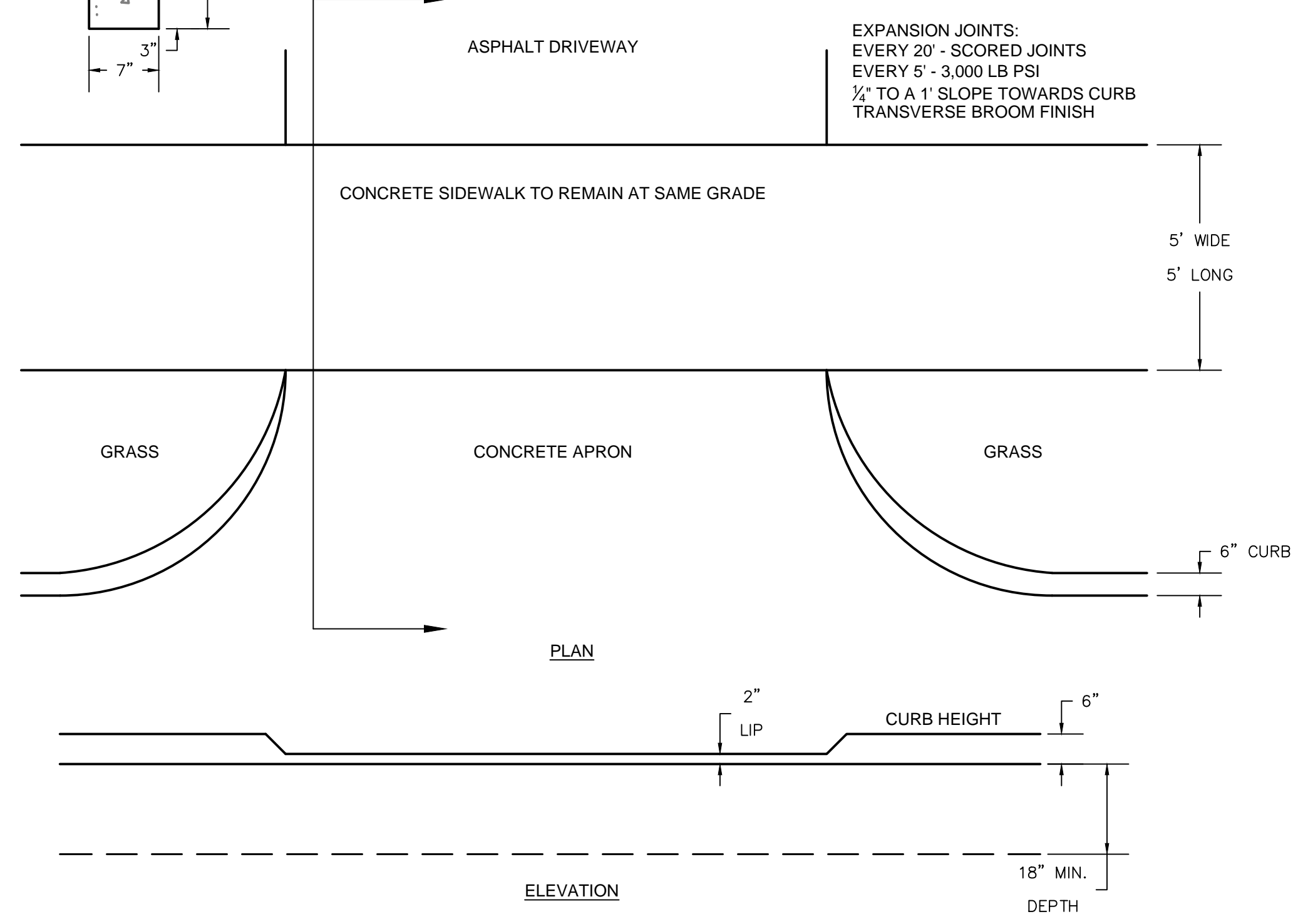
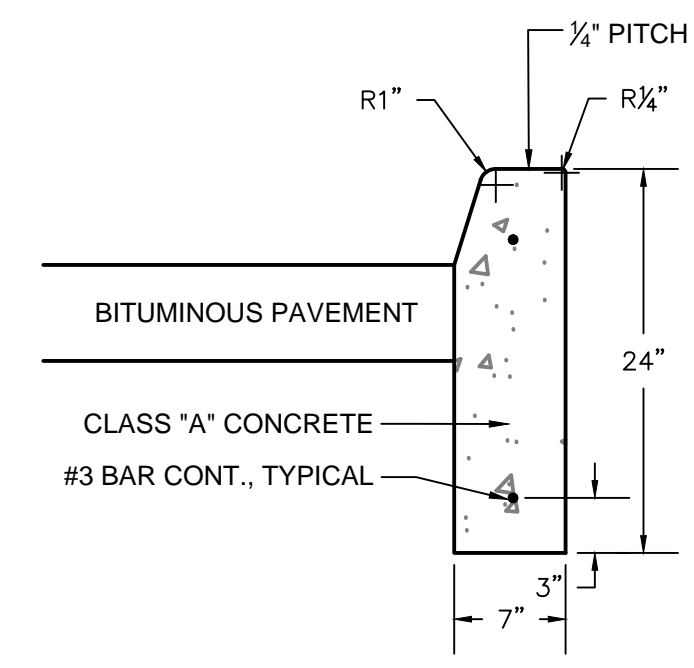
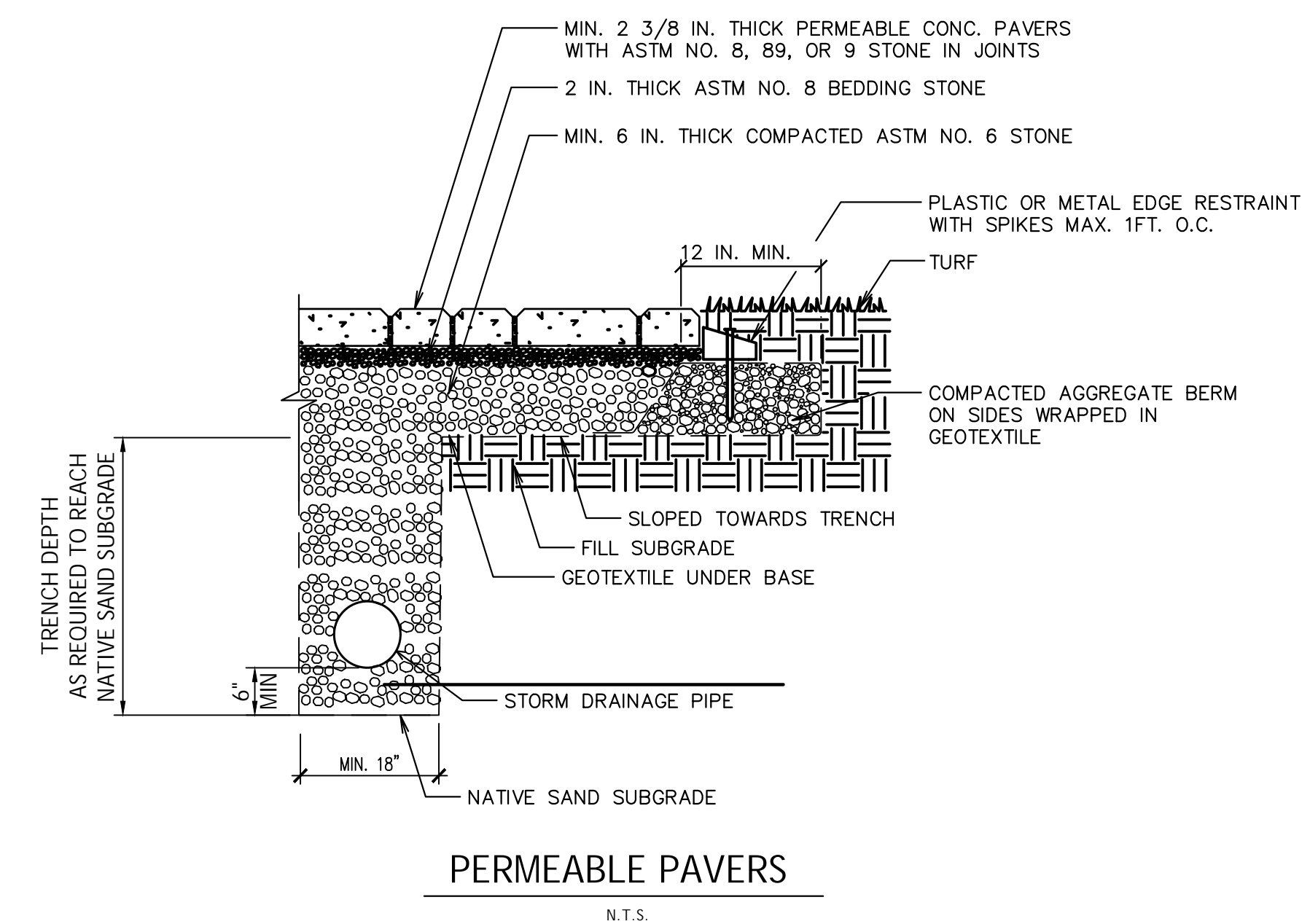
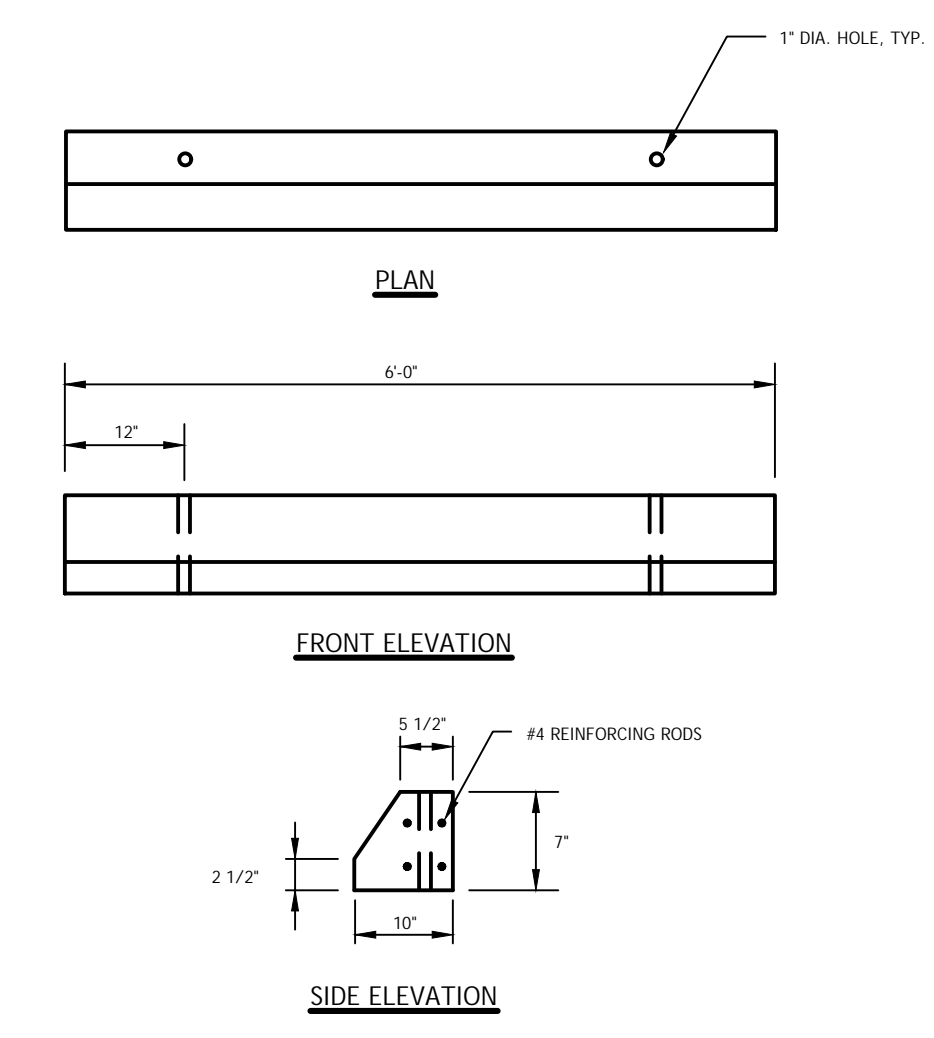
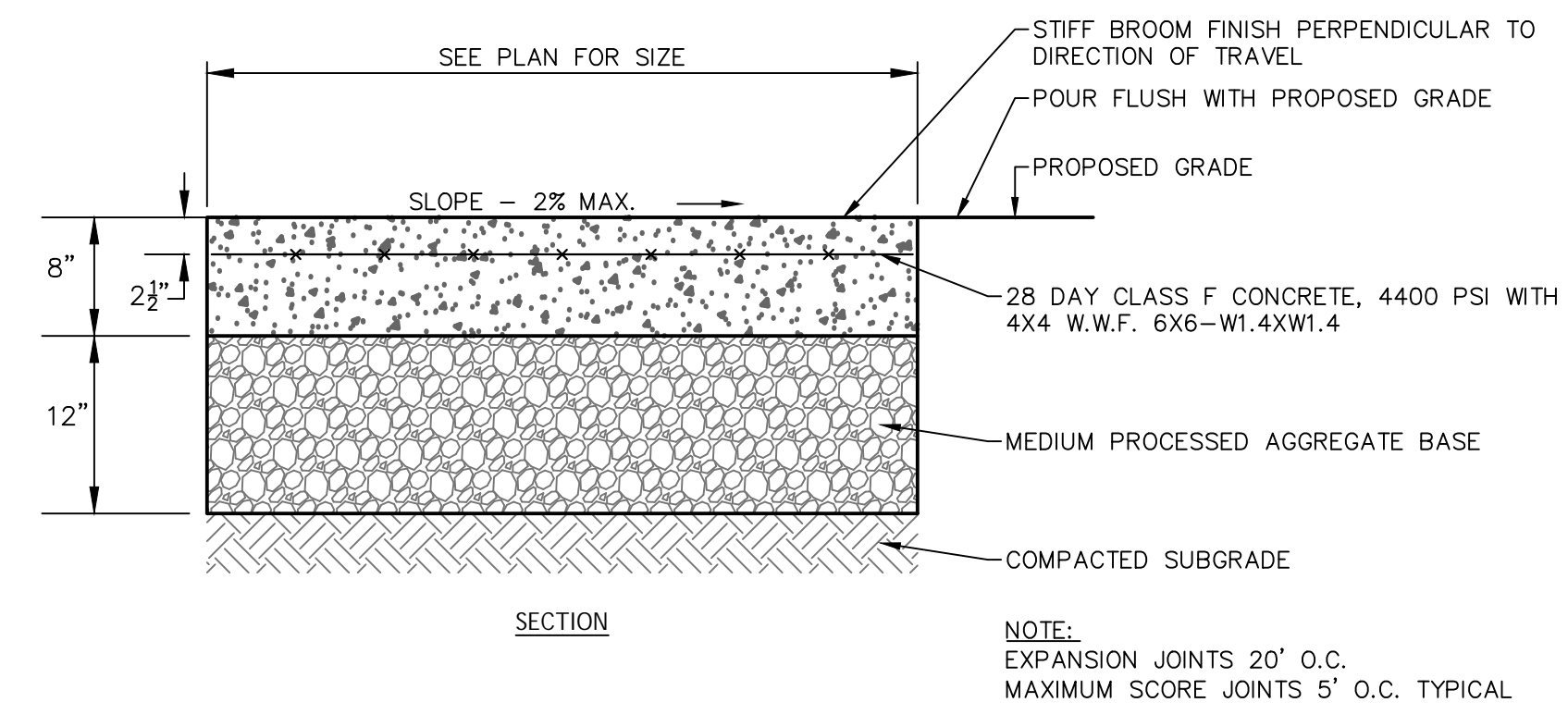
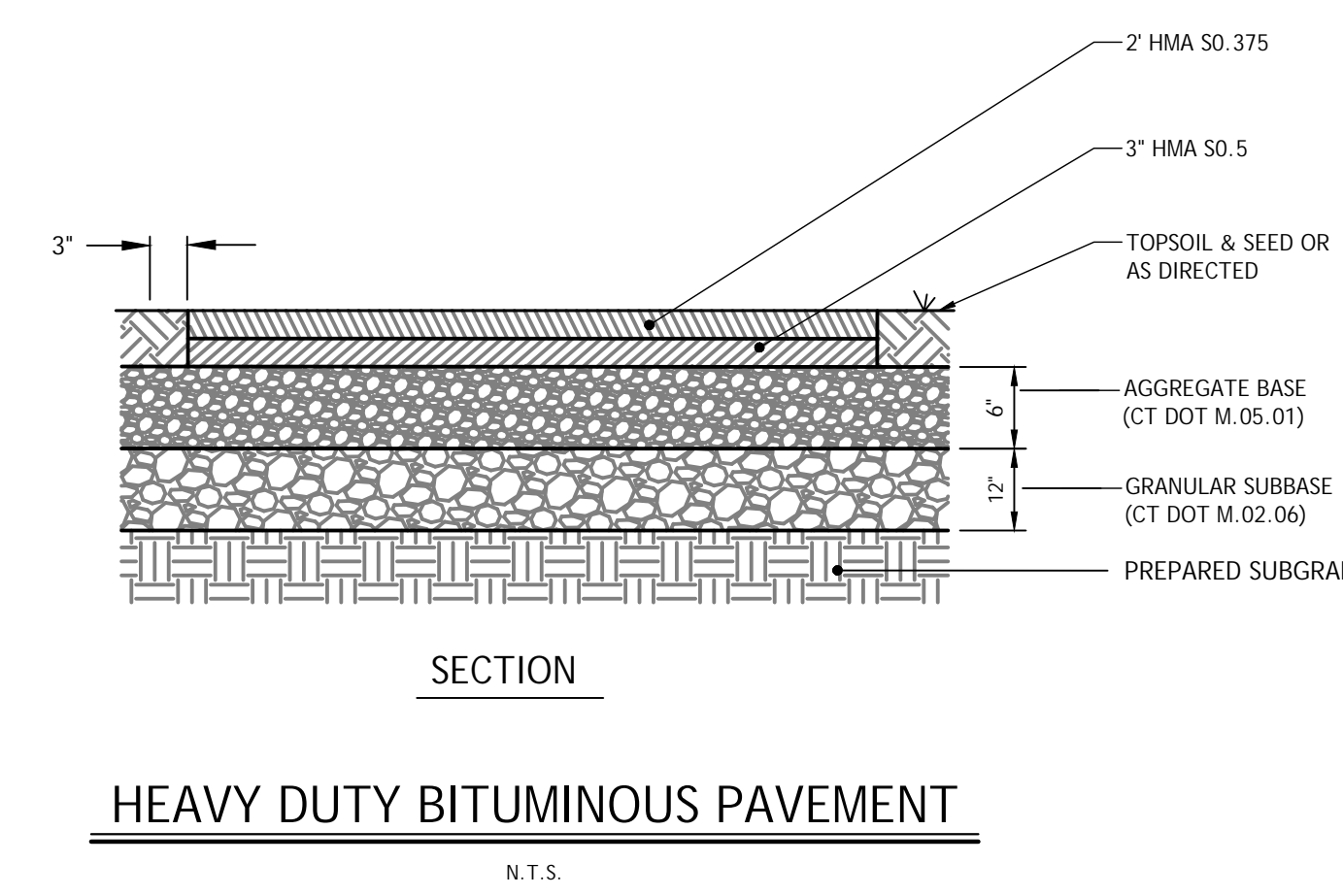
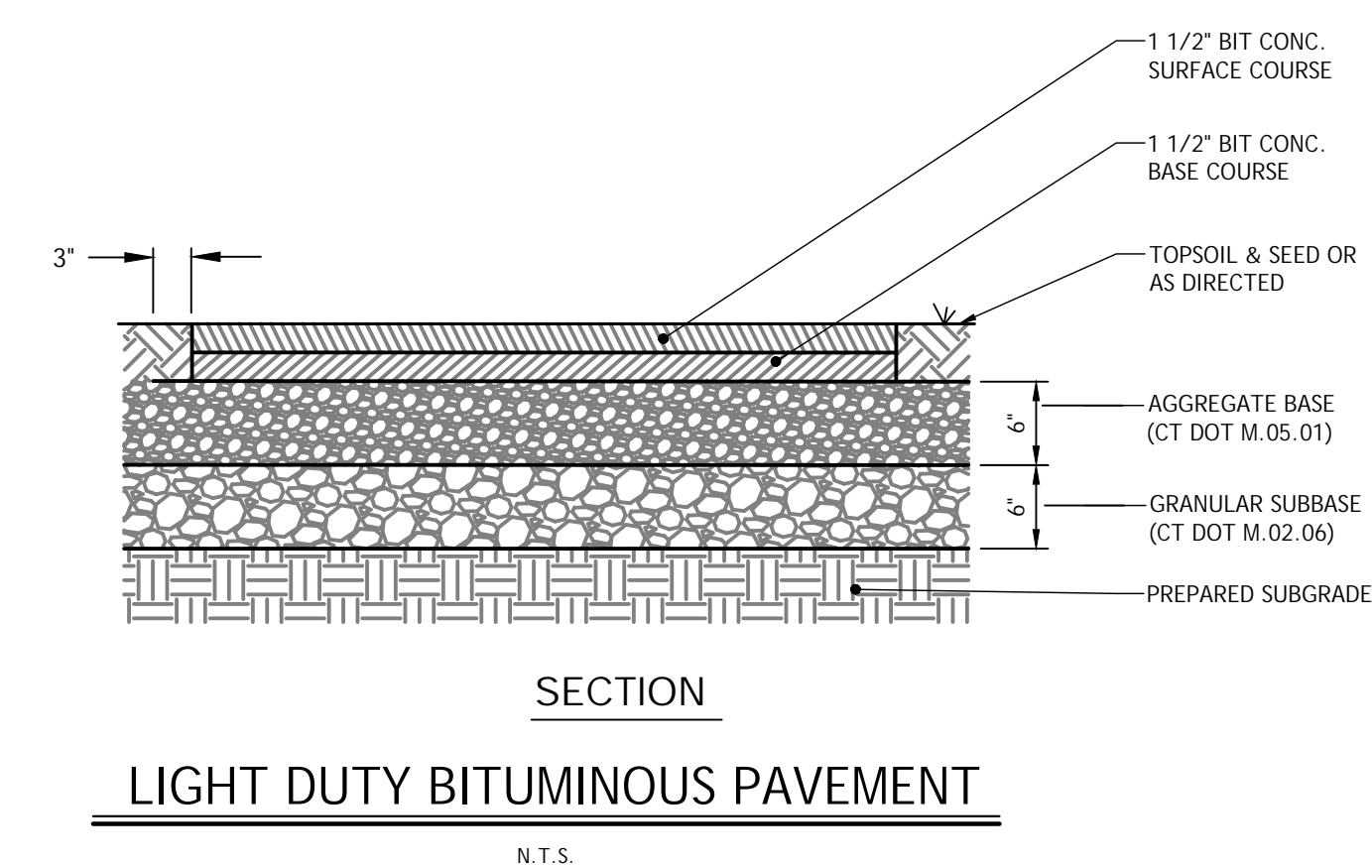
NO.	DATE	DESCRIPTION	REVISIONS
1	12/05/2025	Response to Town comments	
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**FREEMAN**  
 COMPANIES  
 LAND DEVELOPMENT ENGINEERING DESIGN CONSTRUCTION SERVICES  
 30 JOHN STREET WETHERSFIELD, CT 06109  
 WWW.FREEMANCO.COM  
 (860) 251-1111  
 ELEVATE YOUR EXPECTATIONS

**1000 SILAS DEANE HWY**  
 WETHERSFIELD, CONNECTICUT 06109

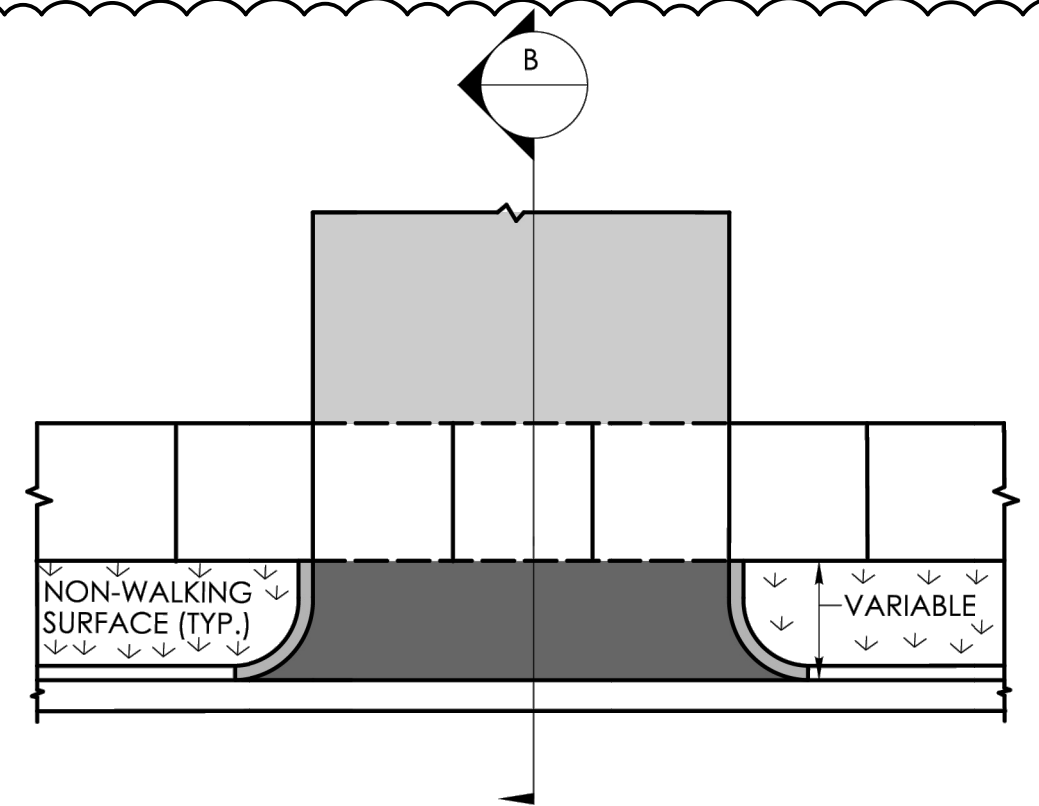
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 APPROVED: FC  
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 PROJECT NO.: 2025-0109  
 DATE: 11/05/2025  
 CAD FILE:

TITLE:  
 SITE DETAILS  
 SHEET NUMBER:  
**C-700**

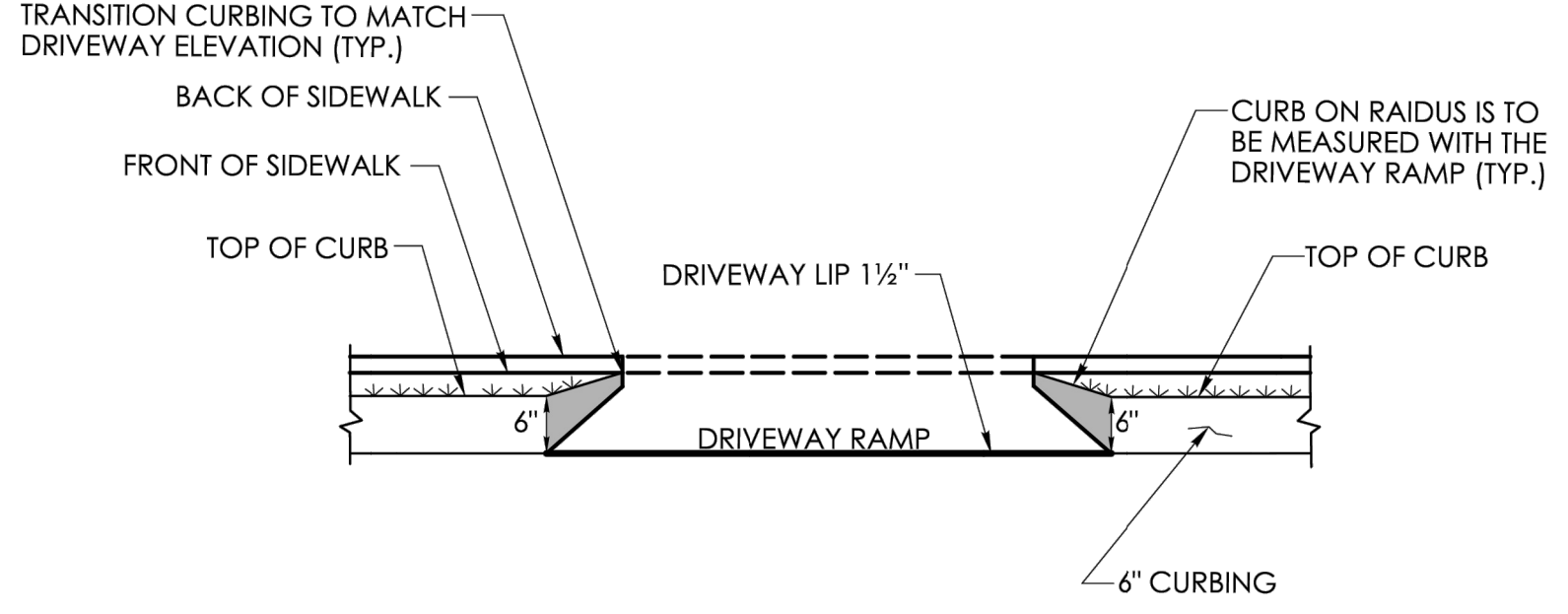


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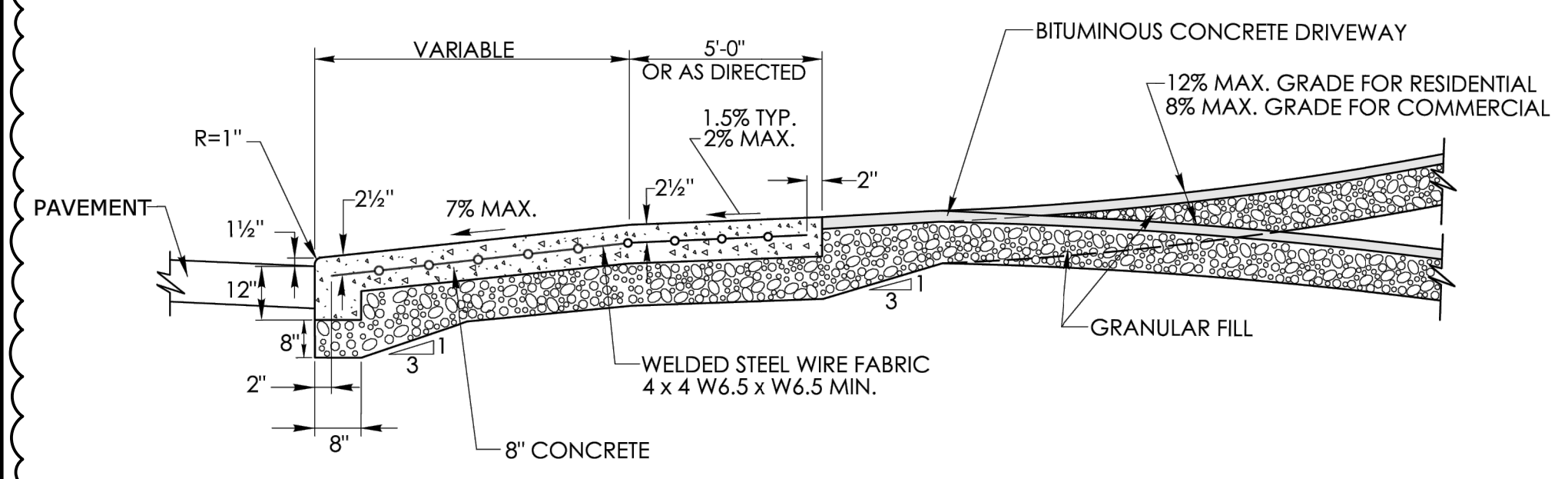
Freeman Companies, LLC. (1/2025) 2025-0109-1000 silas deane hwy 2025-0109-DETAILS-01.dwg September 9, 2021 11:43 PM Plotter.ctb Plotted By: jwu



PLAN



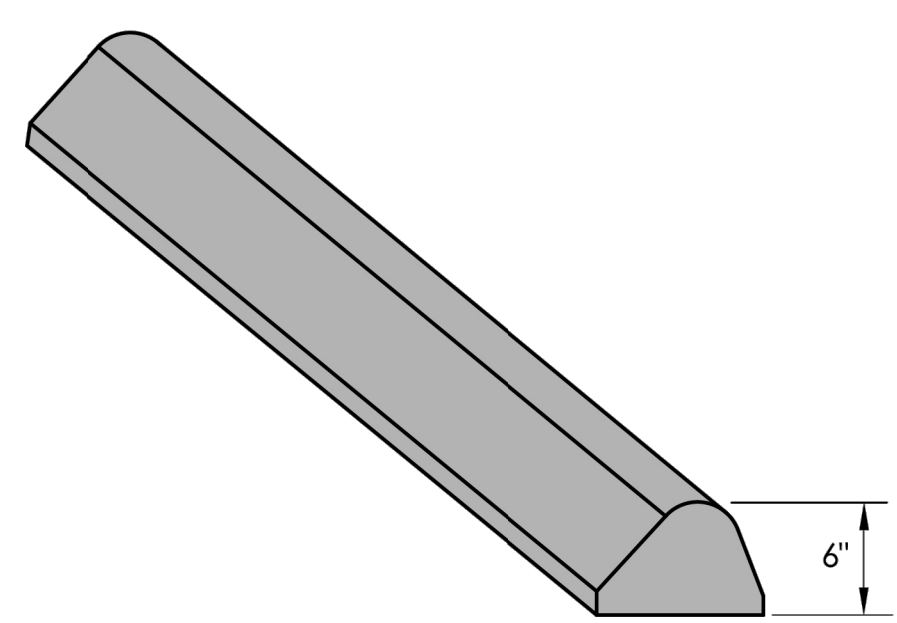
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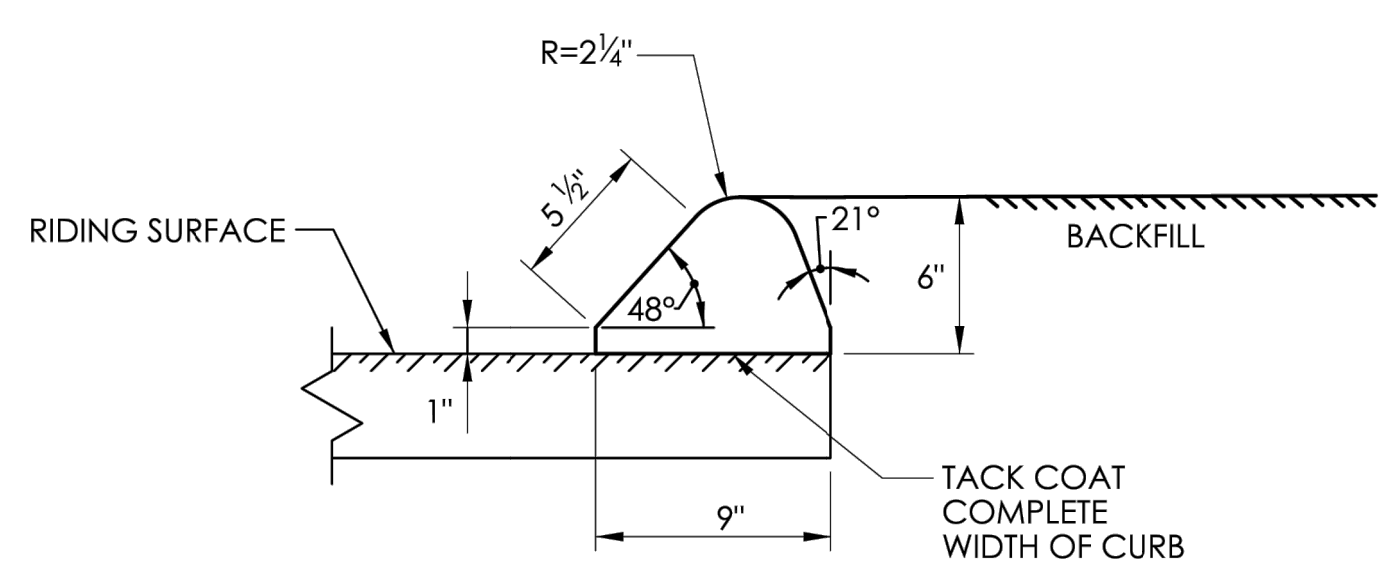
SECTION B

CONCRETE DRIVEWAY RAMP (CT DOT)

N.T.S.



BITUMINOUS CONCRETE LIP CURBING (6" HIGH)



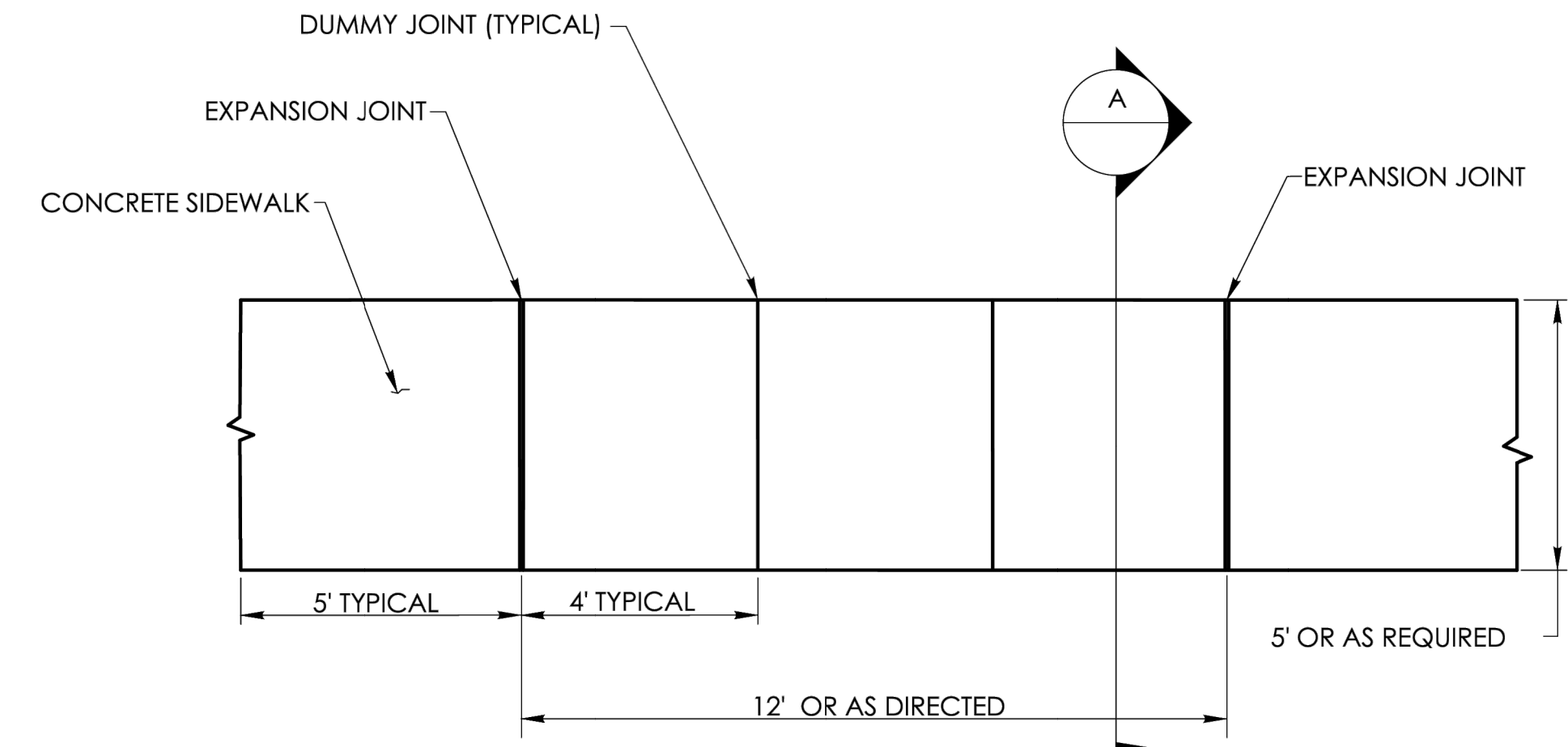
SECTION

BITUMINOUS CONCRETE CURB (CT DOT)

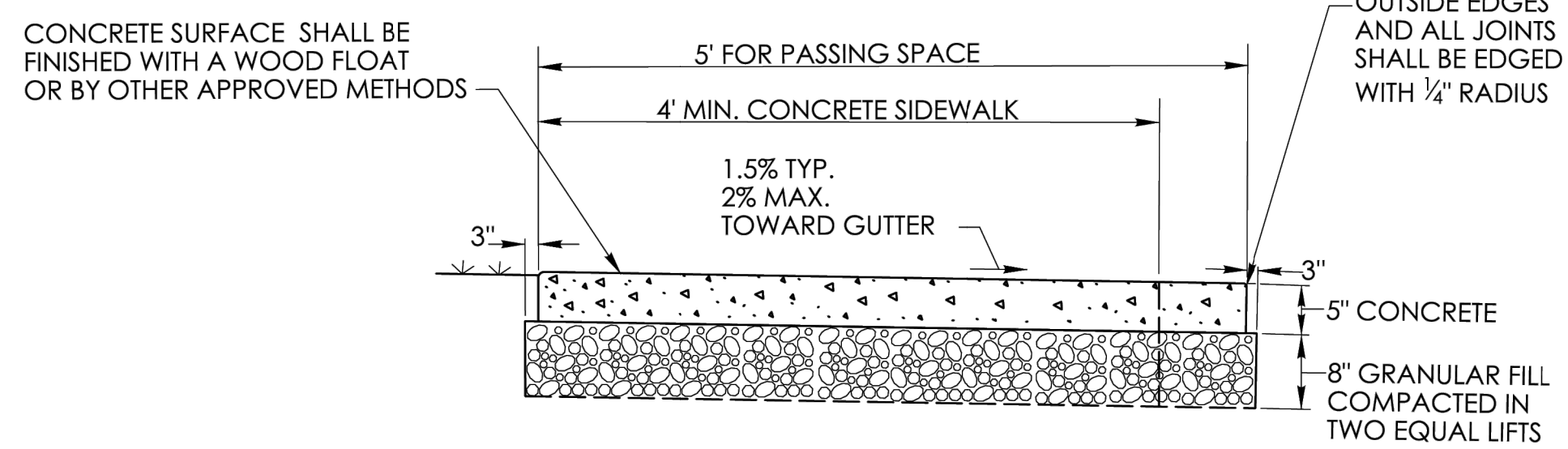
N.T.S.

**GENERAL NOTES:**

1. SEE CONCRETE SIDEWALK RAMPS GUIDE SHEETS FOR PEDESTRIAN RAMP TYPES.
2. ALL CURBING SHALL BE INSTALLED AS EITHER PRECAST OR CAST IN PLACE AS DIRECTED.



5' WIDE SIDEWALK PLAN



5' PASSING SPACE FOR 4' WIDE SIDEWALK

SECTION A

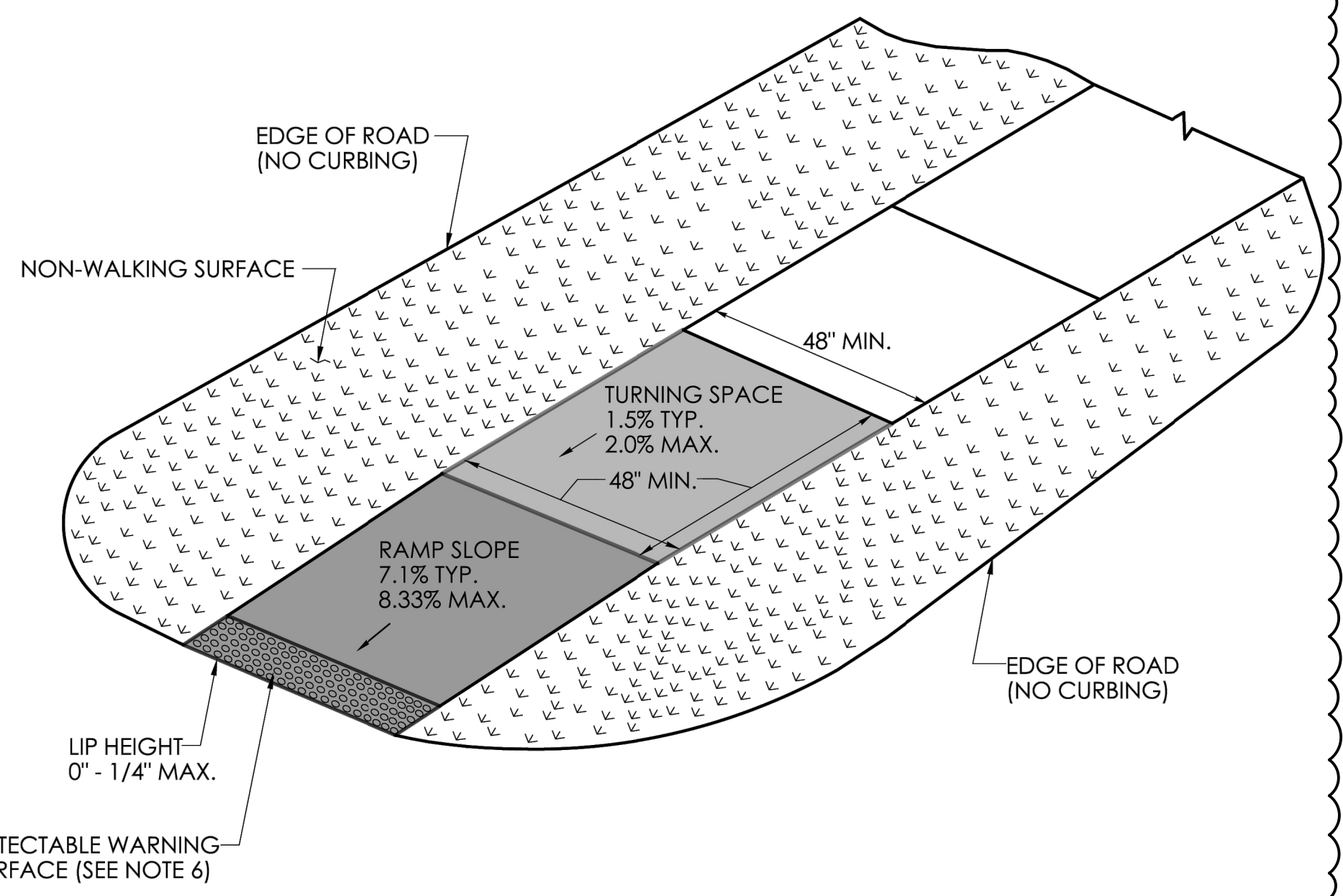
CONCRETE SIDEWALK (CT DOT)

N.T.S.

APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE \_\_\_\_\_

DATE SIGNED \_\_\_\_\_



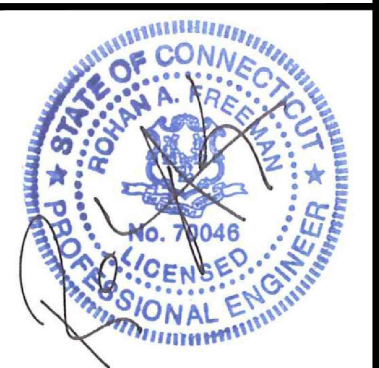
SINGLE DIRECTION PERPENDICULAR RAMP NO CURB WITH NON-WALKING SURFACE (TYPE 17)

CONCRETE SIDEWALK RAMP (CT DOT)

N.T.S.

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION	REVISIONS
1	12/05/2025	Response to Town comments	
2	01/09/2026	Response to Updated Town comments	

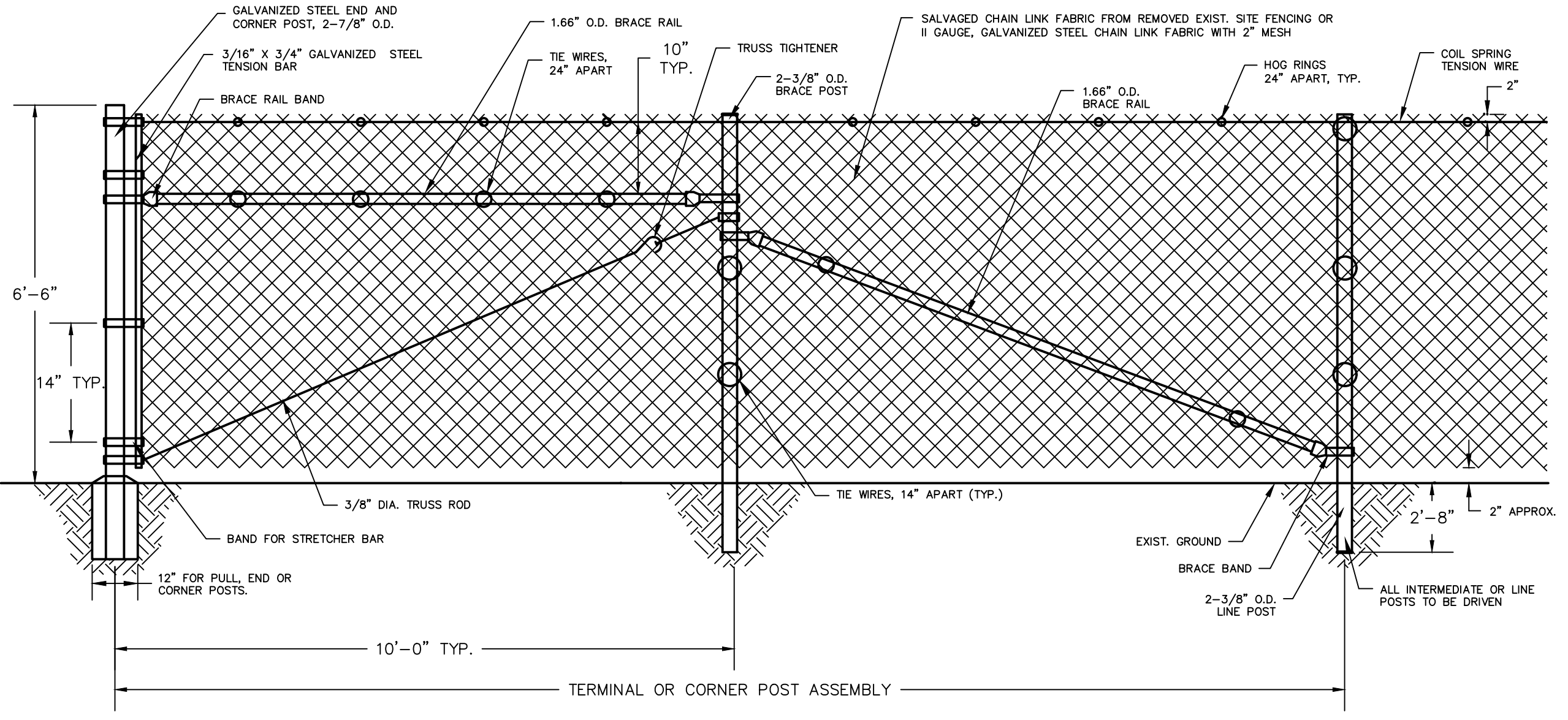
**FREEMAN COMPANIES**  
LAND DEVELOPMENT ENGINEERING ARCHITECTURE INTERIOR DESIGN  
30 JOHN STREET WETHERSFIELD, CT 06109  
WWW.FREEMANCO.COM  
PH: 860.261.1111 FAX: 860.261.1111  
ELEVATE YOUR EXPECTATIONS

**1000 SILAS DEANE HWY**  
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC  
SCALE: AS SHOWN  
PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

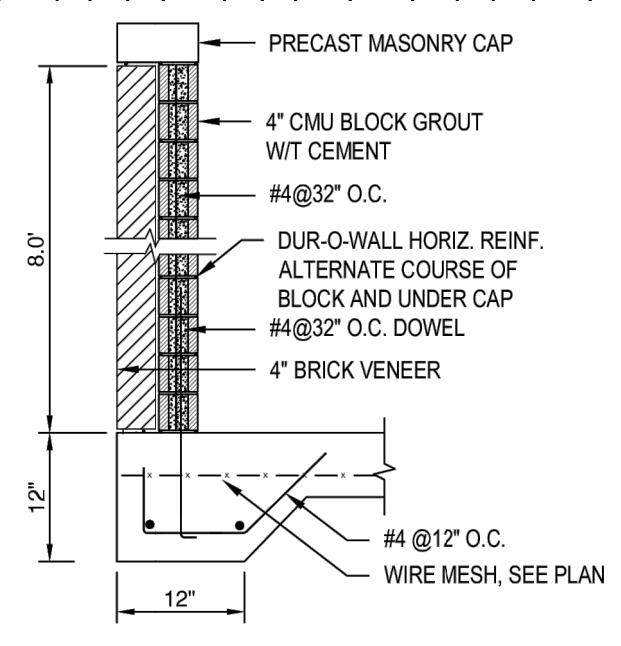
TITLE:  
SITE DETAILS

SHEET NUMBER:  
**C-701**

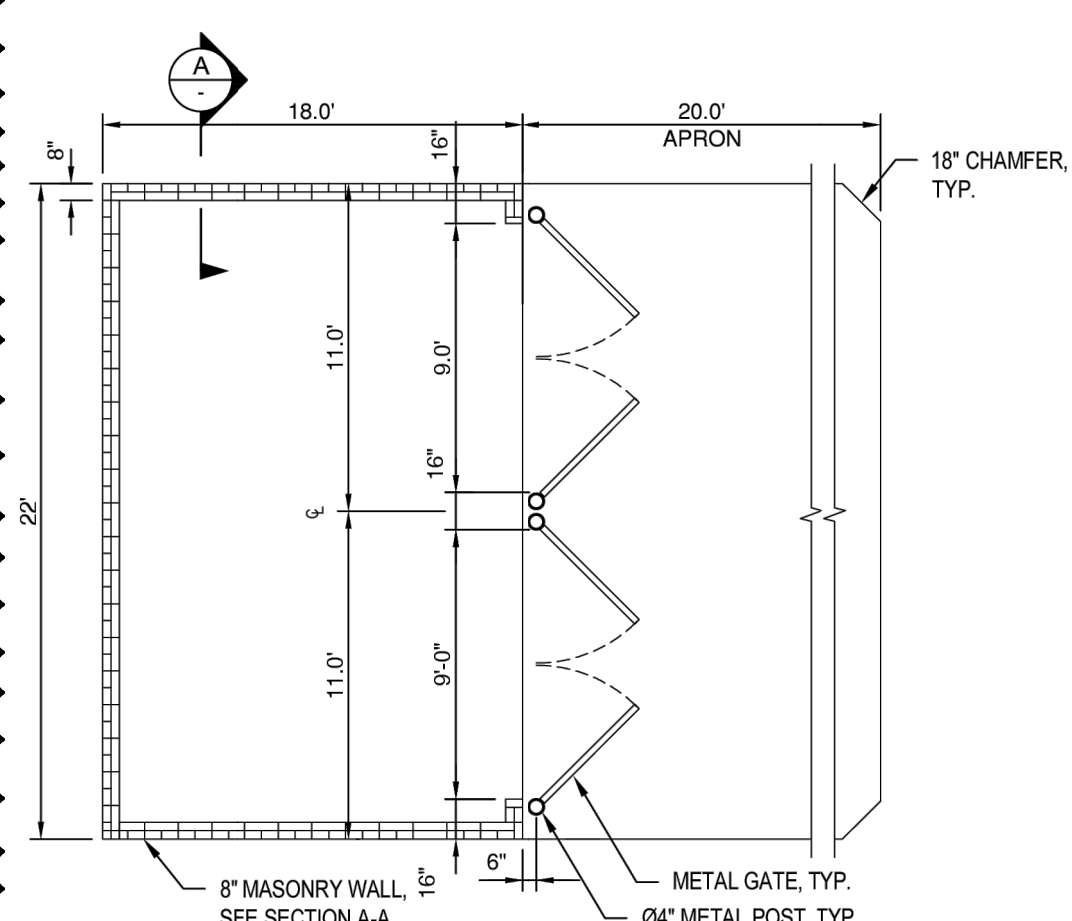


6' CHAINLINK TEMPORARY CONSTRUCTION FENCE  
N.T.S.

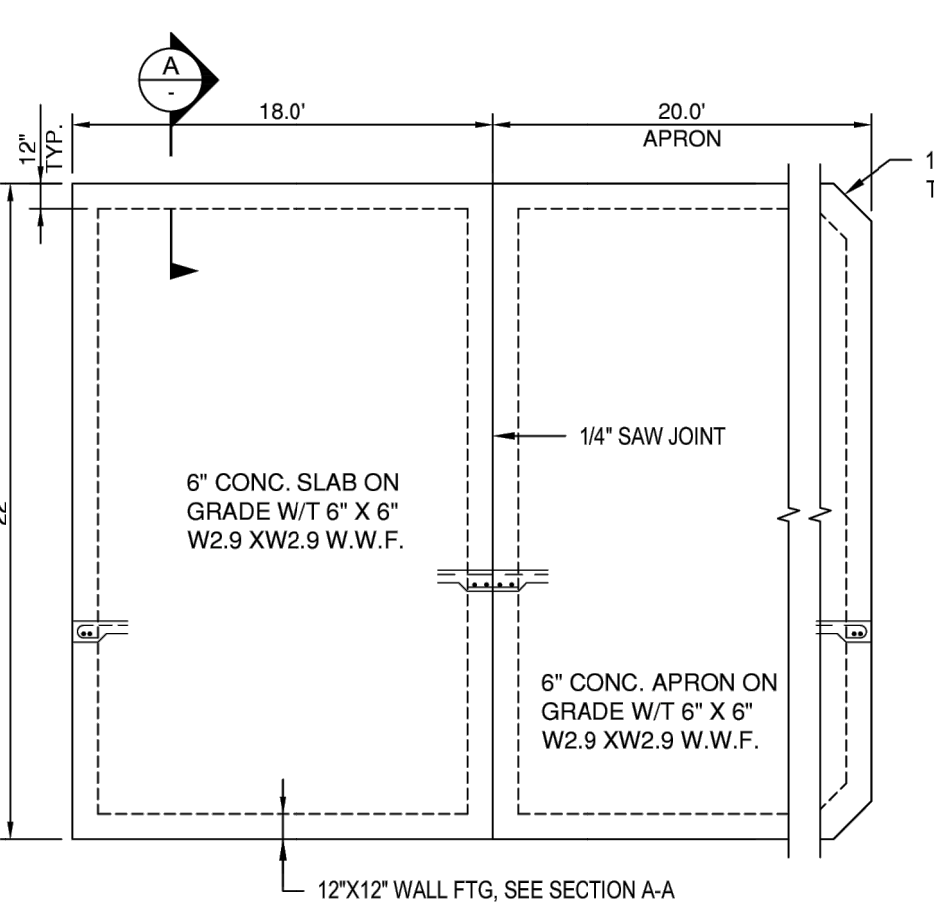
- MASONRY TRASH ENCLOSURE NOTES:**
- COLOR OF VENEER TO MATCH AS BUILDING ON 4" CONCRETE BLOCK WALL. SEE SECTION A-A FOR DETAILS.
  - SLAB TO BE 6" CONCRETE SLAB WITH 6"X6" W2.9XW2.9 WELDED WIRE FABRIC.
  - TYPICAL WALL FOOTING TO BE 12"X12" CONT. W/T 2-#5 BOTTOM REINFORCEMENT. AT MIDDLE IN BOTH DIRECTION.
  - 6" CONCRETE APRON WITH #4 @ 16" O.C.
  - ALL STEEL AND ALUMINUM FINISHES ARE TO BE PAINTED TO MATCH BUILDING.
  - ALL PANELS FOR GATES ARE TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
  - COMPRESSIVE STRENGTH OF CONCRETE FOR APRON AND TRASH ENCLOSURE SHALL BE 4,000 PSI.



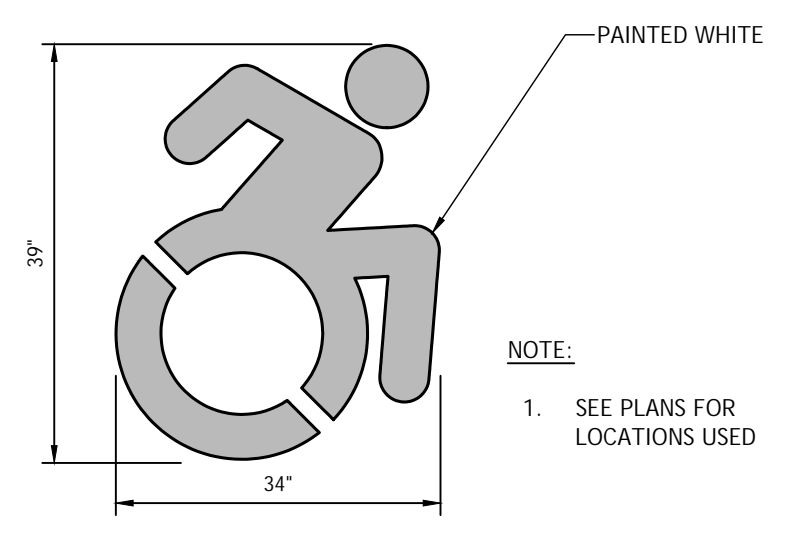
SECTION A-A  
SCALE: N.T.S.



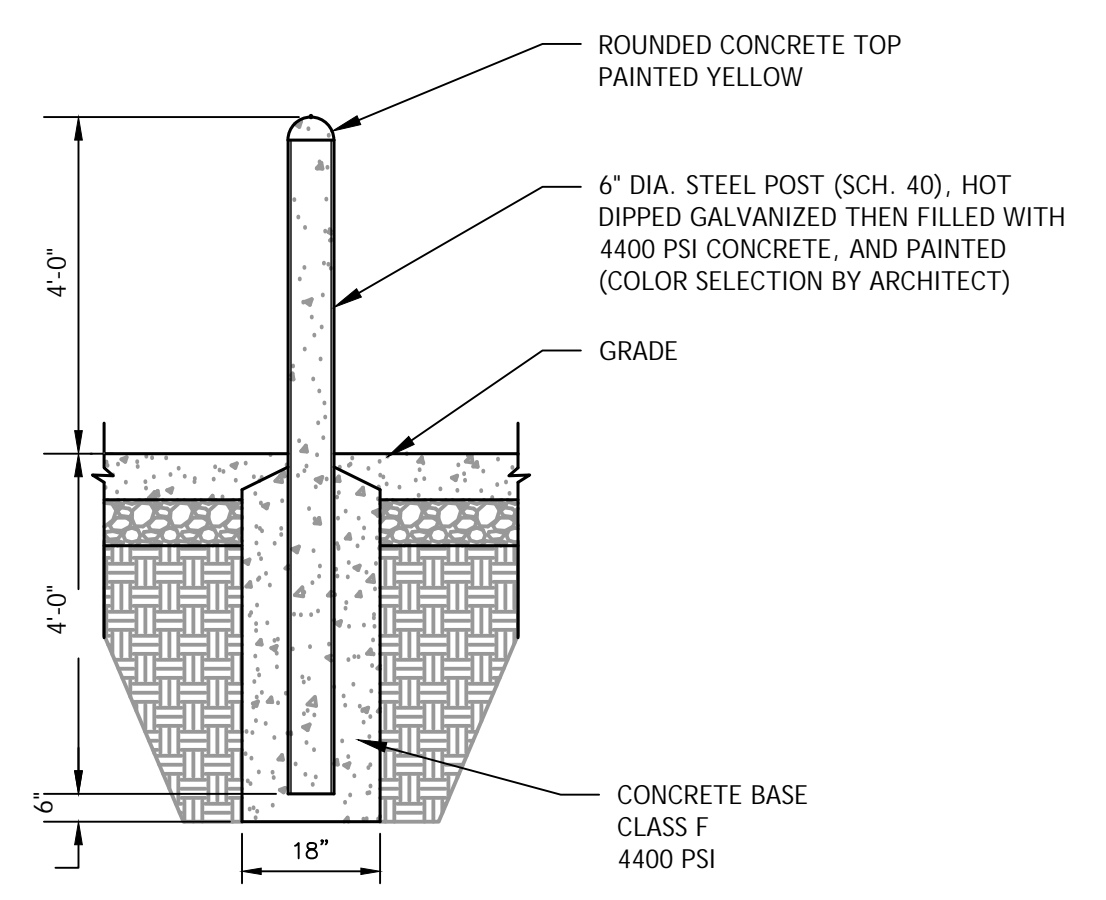
WALL PLAN  
MASONRY TRASH ENCLOSURE DETAIL



FOUNDATION PLAN



SYMBOL OF ACCESS  
N.T.S.

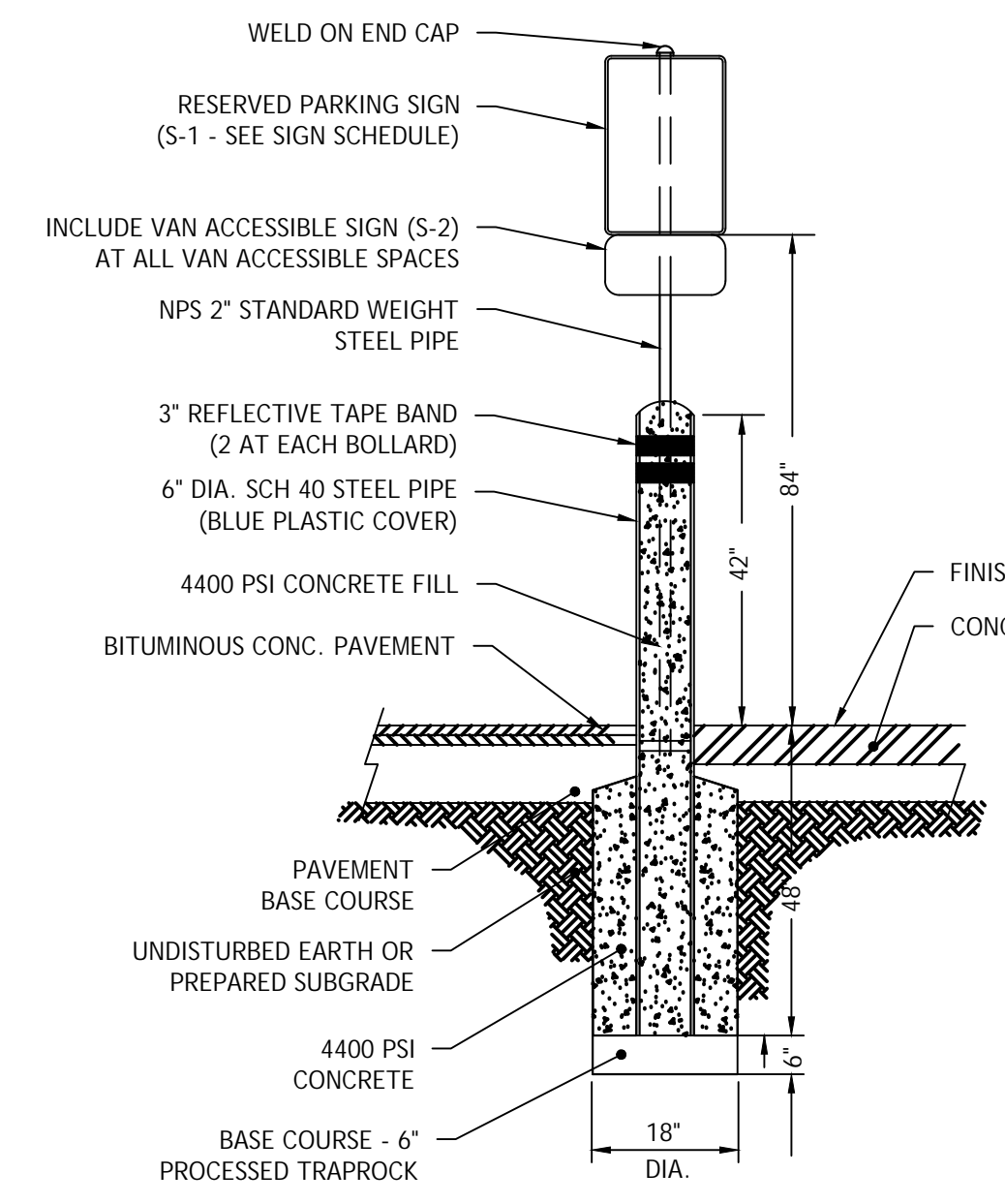


BOLLARD (UTILITY)  
N.T.S.

APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:  
  
CHAIRMAN'S SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

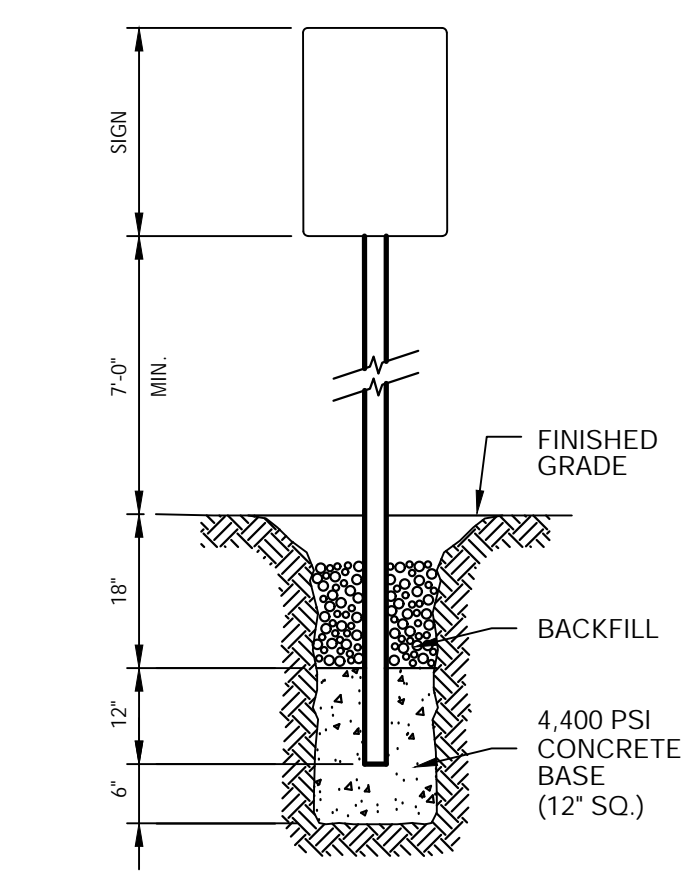
SIGN SCHEDULE			
KEY	SIGN NAME	IMAGE	SIZE
S-1	RESERVED PARKING ConnDOT 31-0629		12" X 24"
S-2	VAN ACCESSIBLE ConnDOT 31-0648		12" X 6"
S-3	DO NOT ENTER ConnDOT 31-1119		
S-4	STOP ConnDOT 31-0552		30" X 30"
S-5	PEDESTRIAN CROSSING ConnDOT 41-4829		30" X 30"
S-6	PICKUP AND DROP-OFF AREA ONLY		12" X 18"
S-7	NO PARKING ConnDOT 31-0695		12" X 12"
S-8	ONE WAY (RIGHT ARROW) ConnDOT 31-1177		36" X 12" (R)
S-9	NO OUTLET		12" X 18"

NOTE: REFER TO SITE LAYOUT PLAN FOR SIGN LOCATIONS.



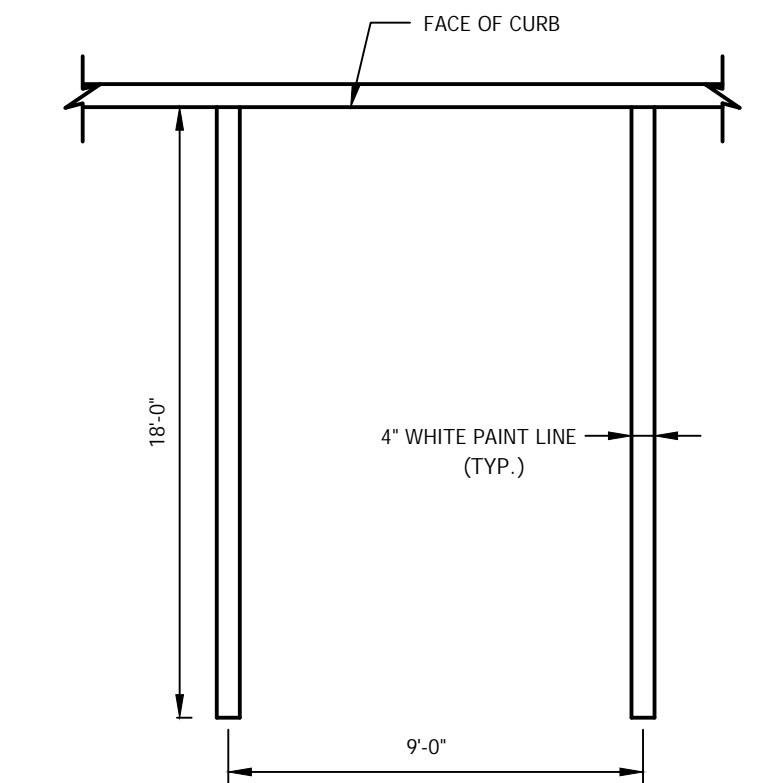
- NOTES:
- BOLLARD SHALL BE CENTERED ON EACH HANDICAP PARKING SPACE
  - REFER TO SIGN SCHEDULE FOR SIGN STYLE AND SIZE

RESERVED PARKING SIGN BOLLARD  
N.T.S.



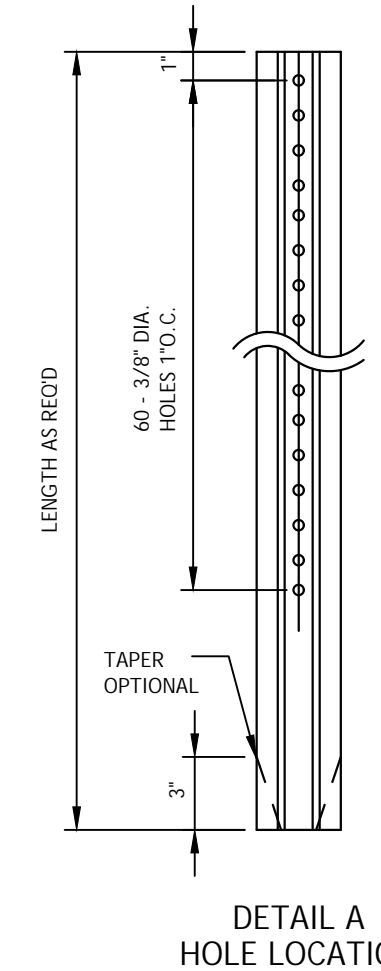
NOTE: CONSTRUCT SIGN IN ACCORDANCE WITH DOT SPECIFICATIONS.

SIGN POST INSTALLATION  
N.T.S.



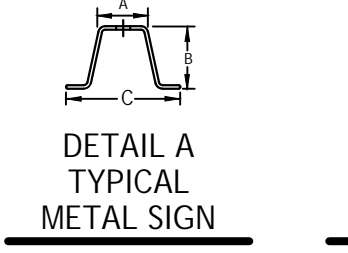
NOTE: PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

PARKING STRIPING  
N.T.S.

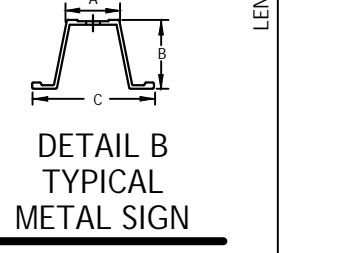


DETAIL A HOLE LOCATION

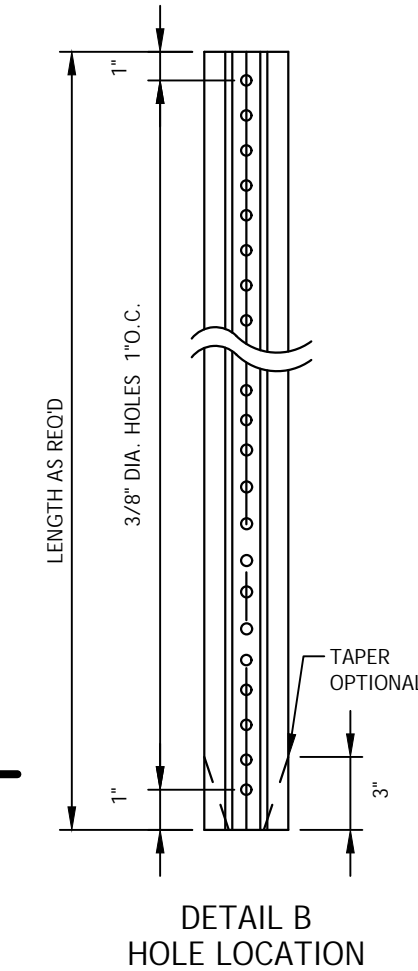
WT.	A	B	C
3 LB.	1-5/8"	1-3/4"	3-1/2"
OR	1-5/16"	1-7/8"	3-1/2"
3 LB.	1-5/8"	1-3/4"	3-1/2"



DETAIL A TYPICAL METAL SIGN



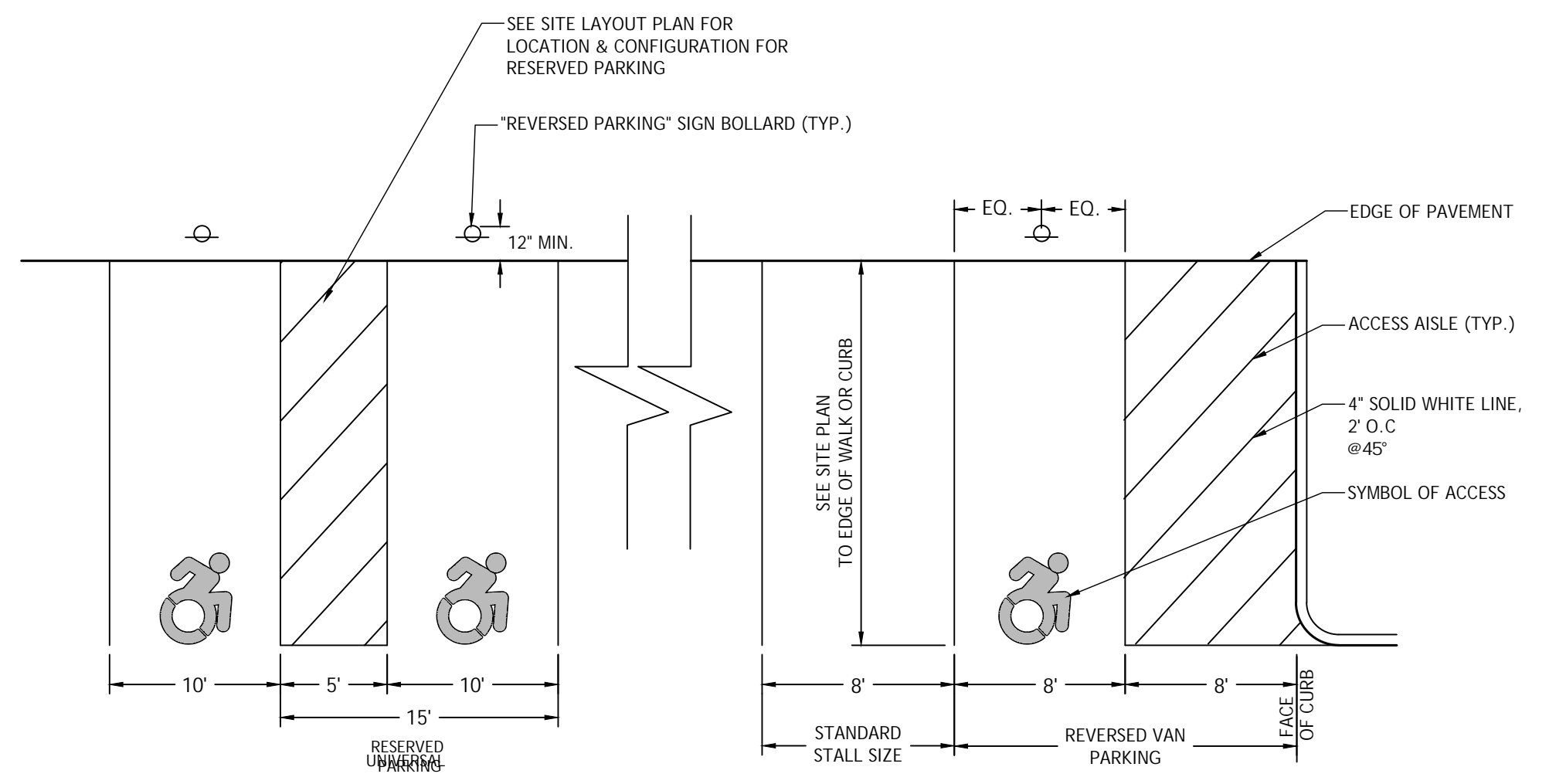
DETAIL B TYPICAL METAL SIGN



DETAIL B HOLE LOCATION

NOTES:  
STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A 76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 91 LBS OR GREATER PER LINEAR YARD.  
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.

METAL SIGN POSTS  
N.T.S.



RESERVED PARKING  
N.T.S.

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION
1	12/05/2025	Response to Town comments
2	01/09/2026	Response to Updated Town comments

**FREEMAN COMPANIES**  
1000 SILAS DEANE HWY, WETHERSFIELD, CT 06109  
WWW.FREEMANCO.COM

1000 SILAS DEANE HWY  
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC  
SCALE: AS SHOWN  
PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

TITLE:  
SITE DETAILS

SHEET NUMBER:  
C-702

Freeman Companies, LLC. ( 2025) 0109 1000 Silas Deane Hwy, Wethersfield, CT 06109

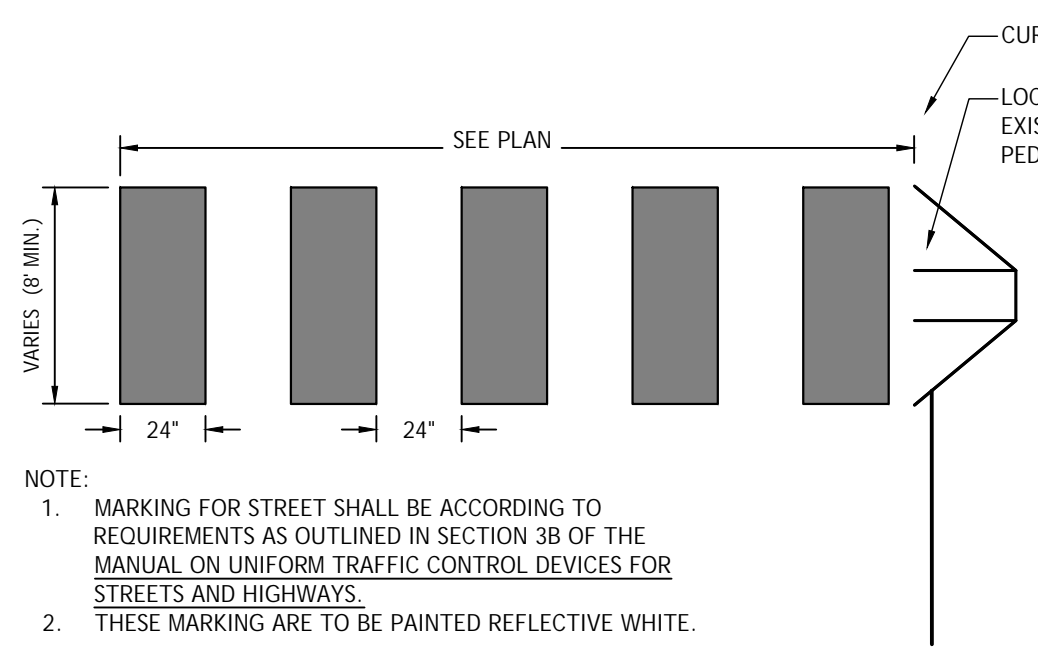
APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:
CHAIRMAN'S SIGNATURE
DATE SIGNED

PREPARED FOR: KCH TRADING INC 1000 SILAS DEANE HWY, WETHERSFIELD, CT 06109
OWNER FOR: KCH TRADING INC 1000 SILAS DEANE HWY, WETHERSFIELD, CT 06109

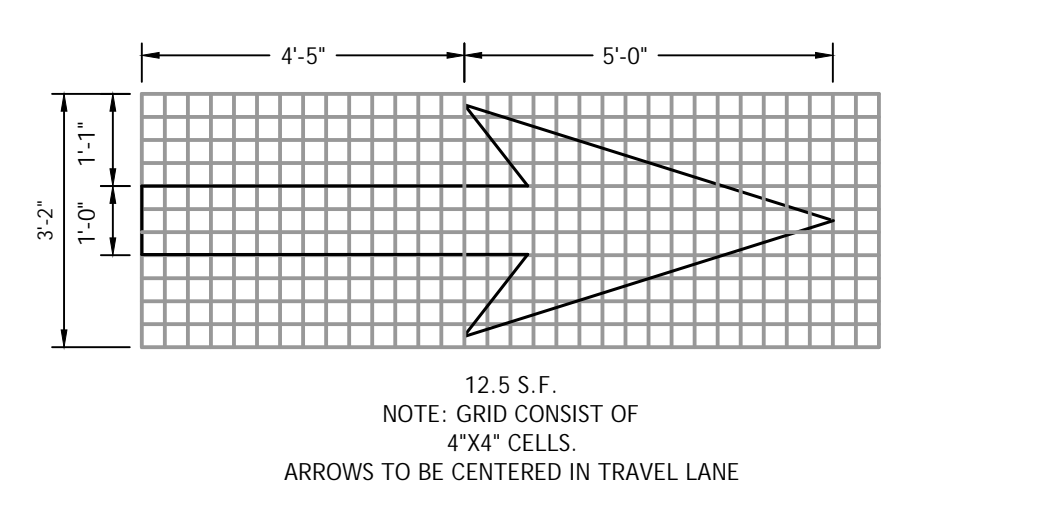
NO. DATE DESCRIPTION
1 01/09/2026 Response to Updated Town comments
2 12/05/2025 Response to Town comments

FREEMAN COMPANIES
ELEVATE YOUR EXPECTATIONS

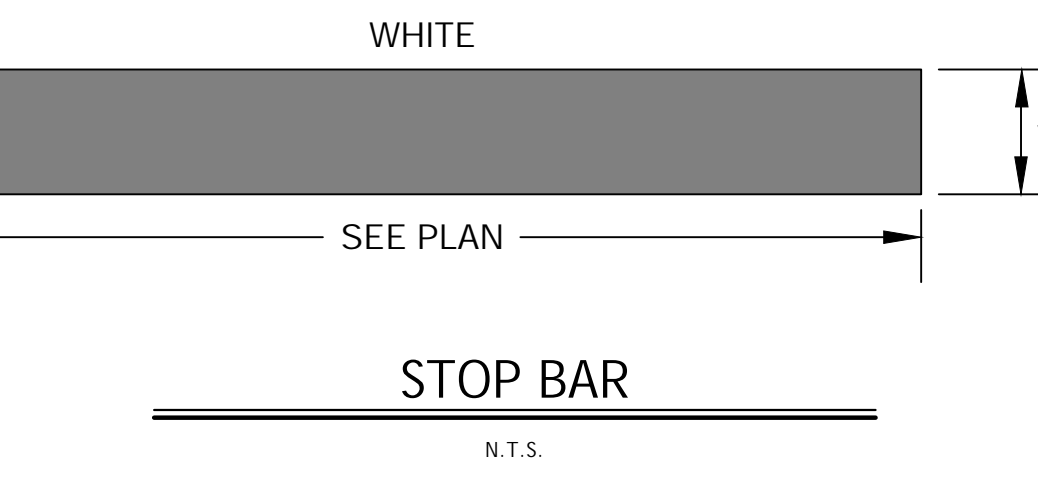
1000 SILAS DEANE HWY
WETHERSFIELD, CONNECTICUT 06109
DESIGNED: FC
DRAFTED: FC
CHECKED: FC
APPROVED: FC
SCALE: AS SHOWN
PROJECT NO.: 2025-0109
DATE: 11/05/2025
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TITLE: SITE DETAILS
SHEET NUMBER: C-703



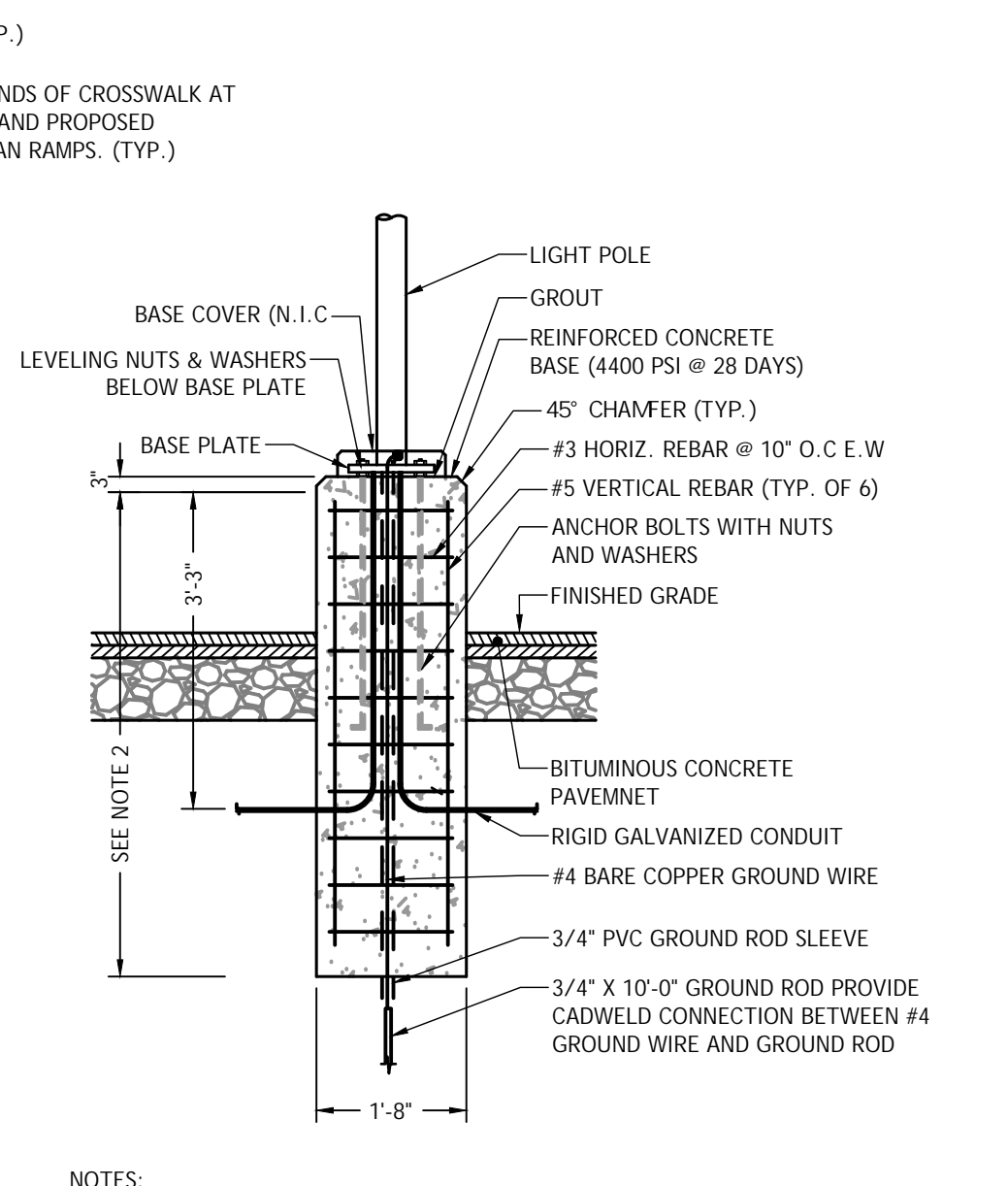
CROSSWALK MARKINGS N.T.S.



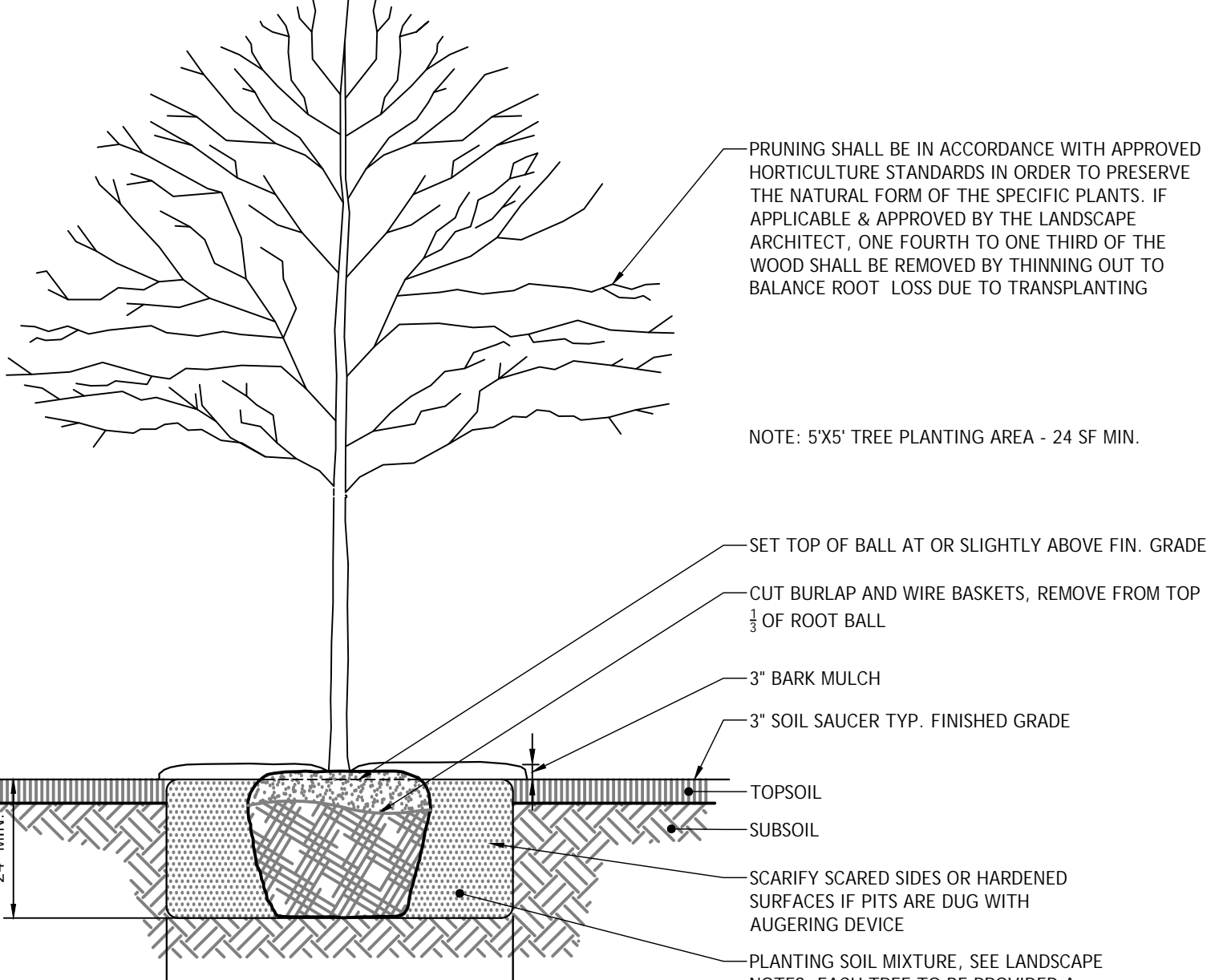
PAINTED ARROW (THROUGH LANE) N.T.S.



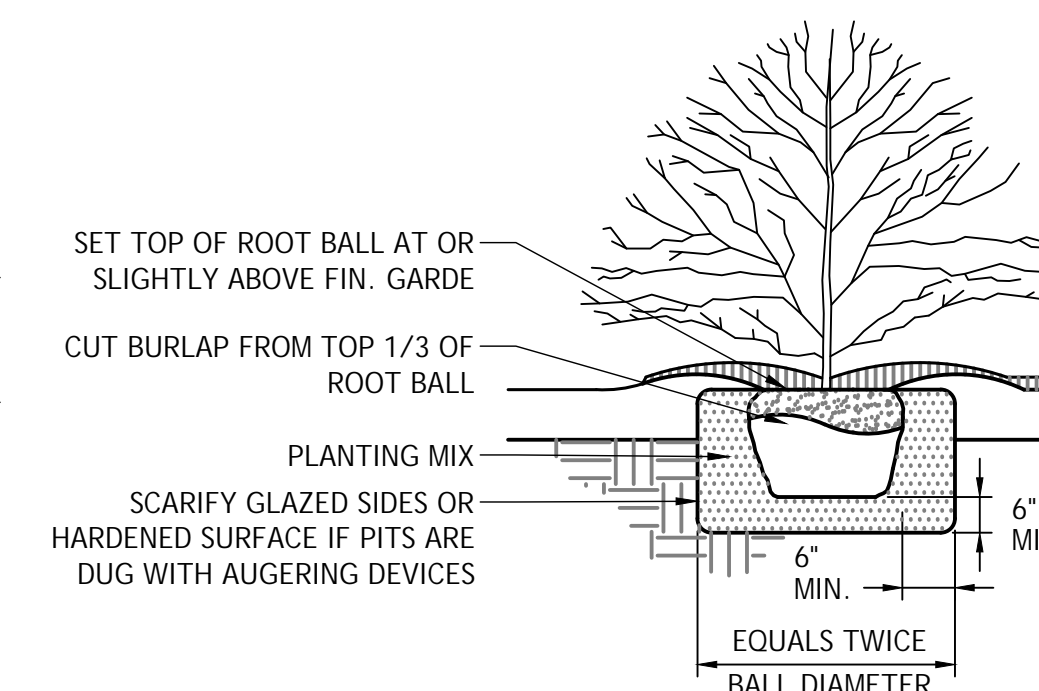
STOP BAR N.T.S.



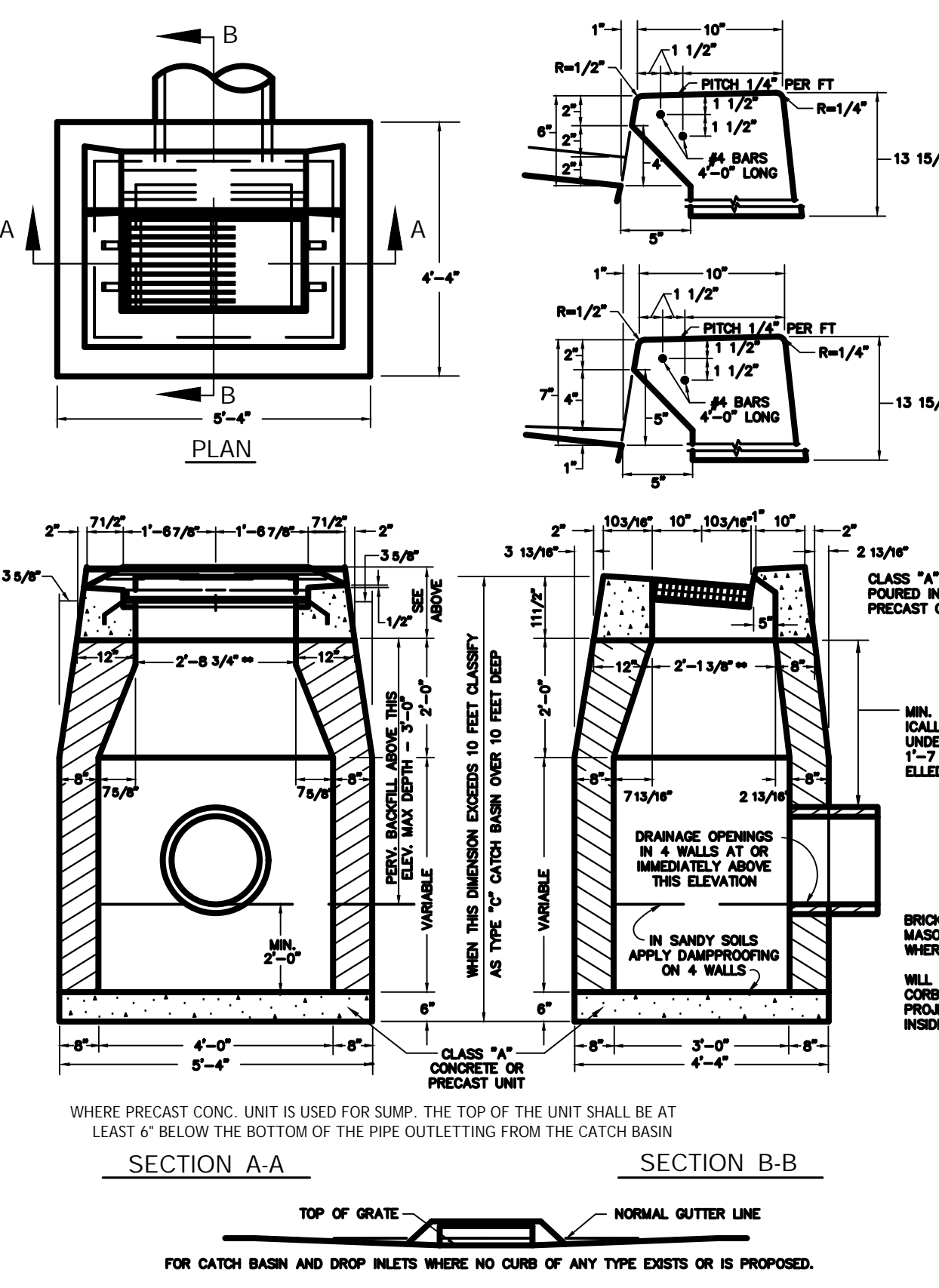
PARKING AREA LIGHT POLE FOUNDATION N.T.S.



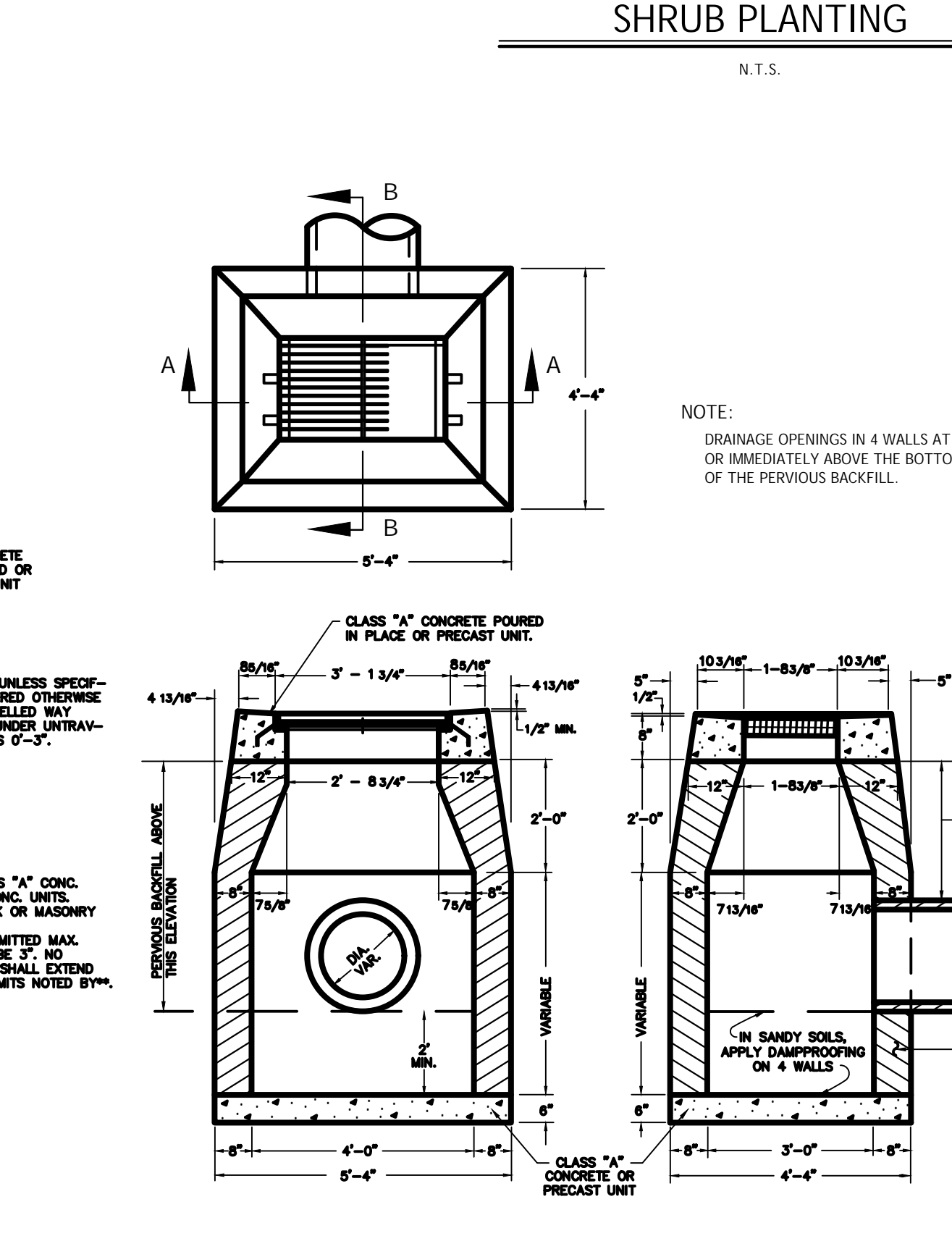
TREE PLANTING N.T.S.



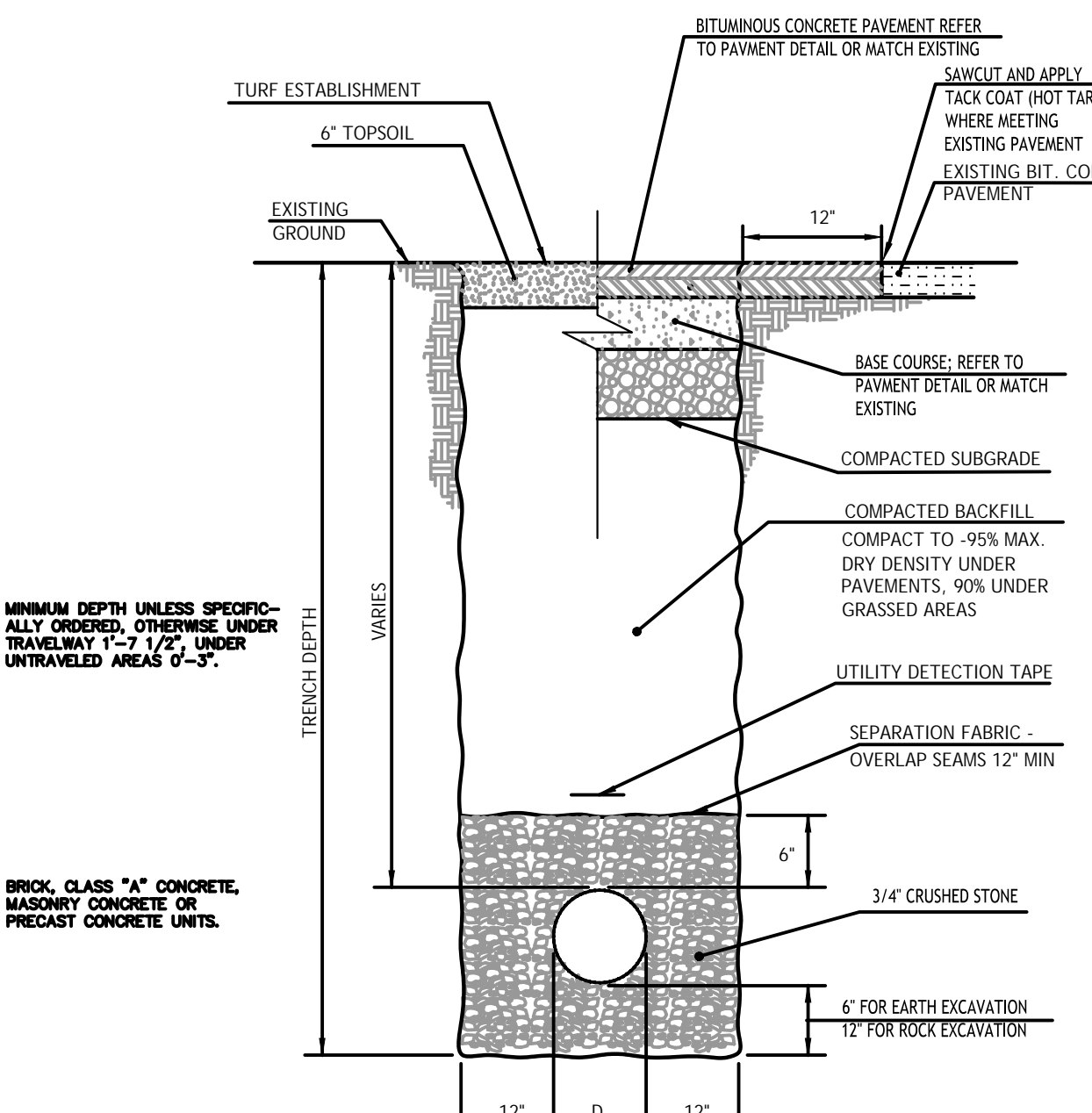
SHRUB PLANTING N.T.S.



TYPE 'C' CATCH BASIN W/ HOOD N.T.S.



TYPE 'C-L' CATCH BASIN N.T.S.



UTILITY TRENCH DETAIL N.T.S.

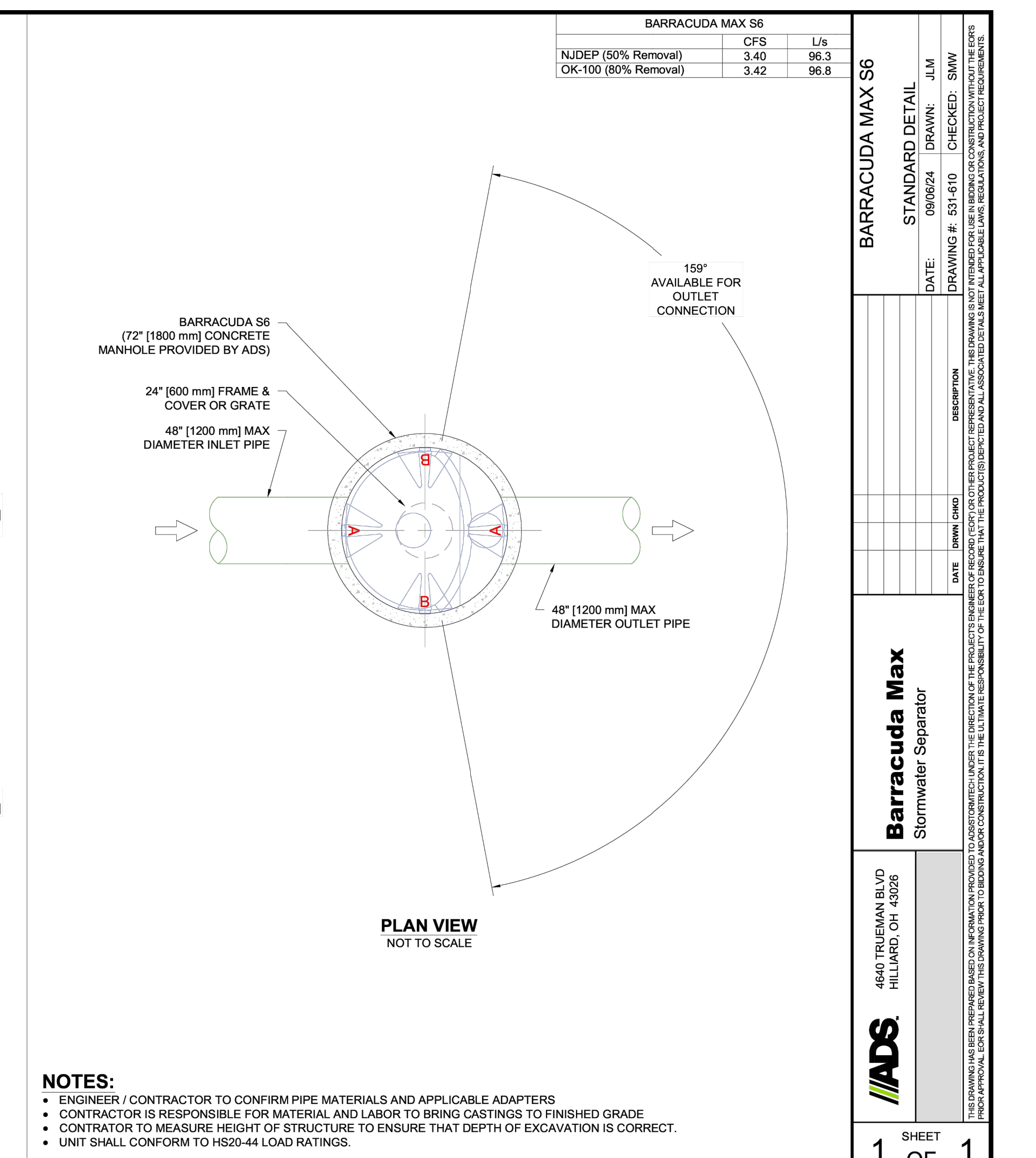
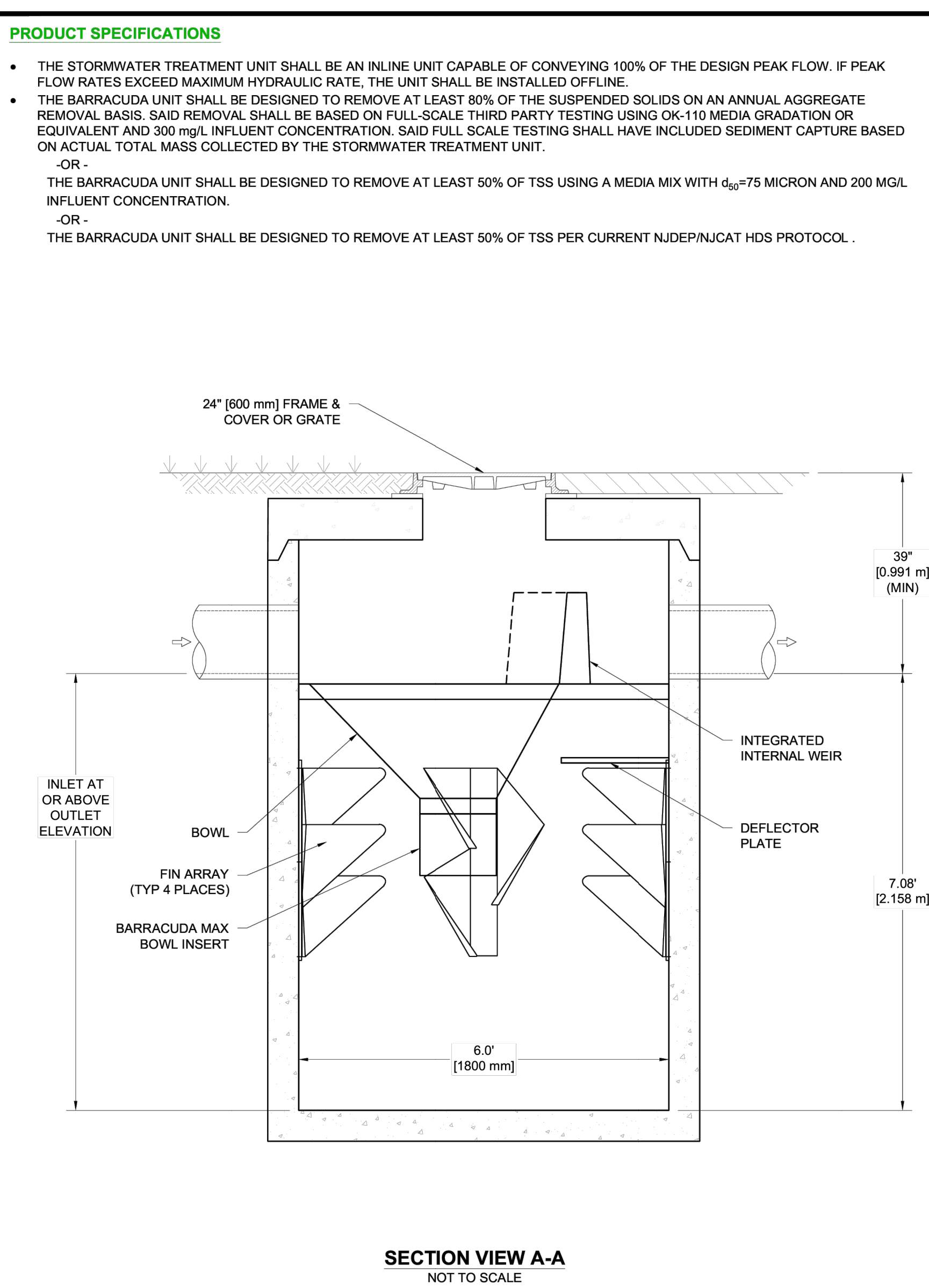
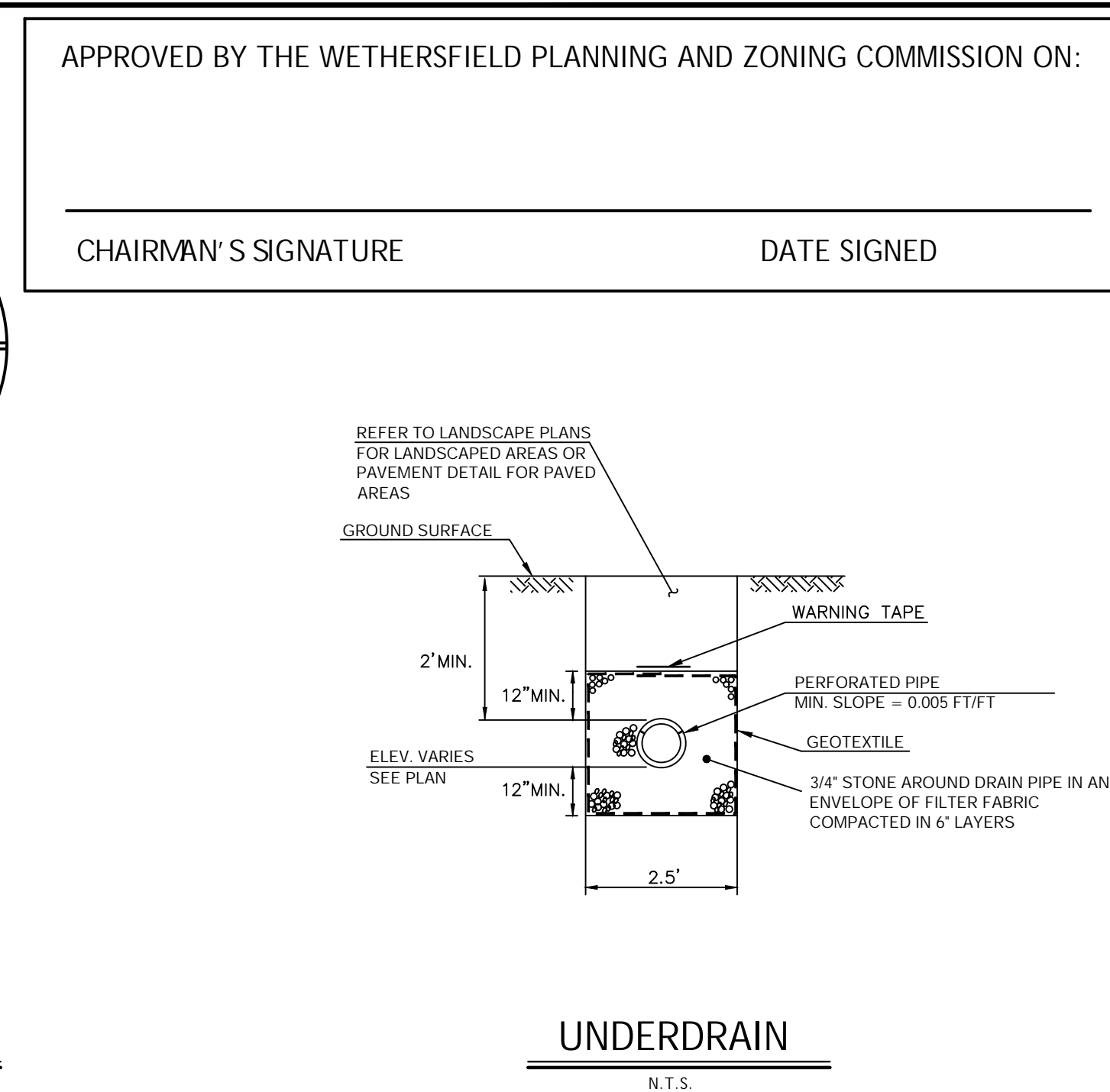
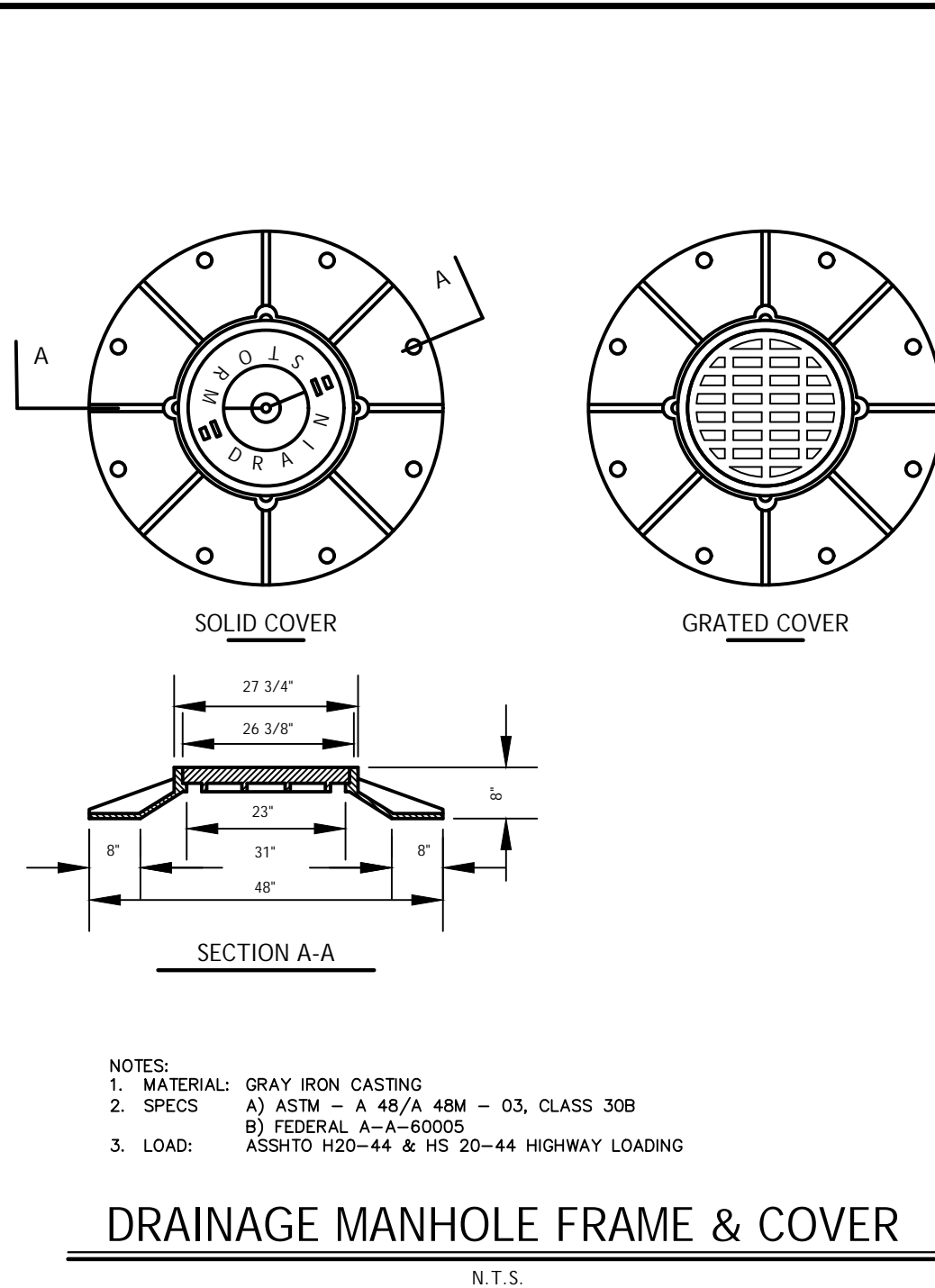
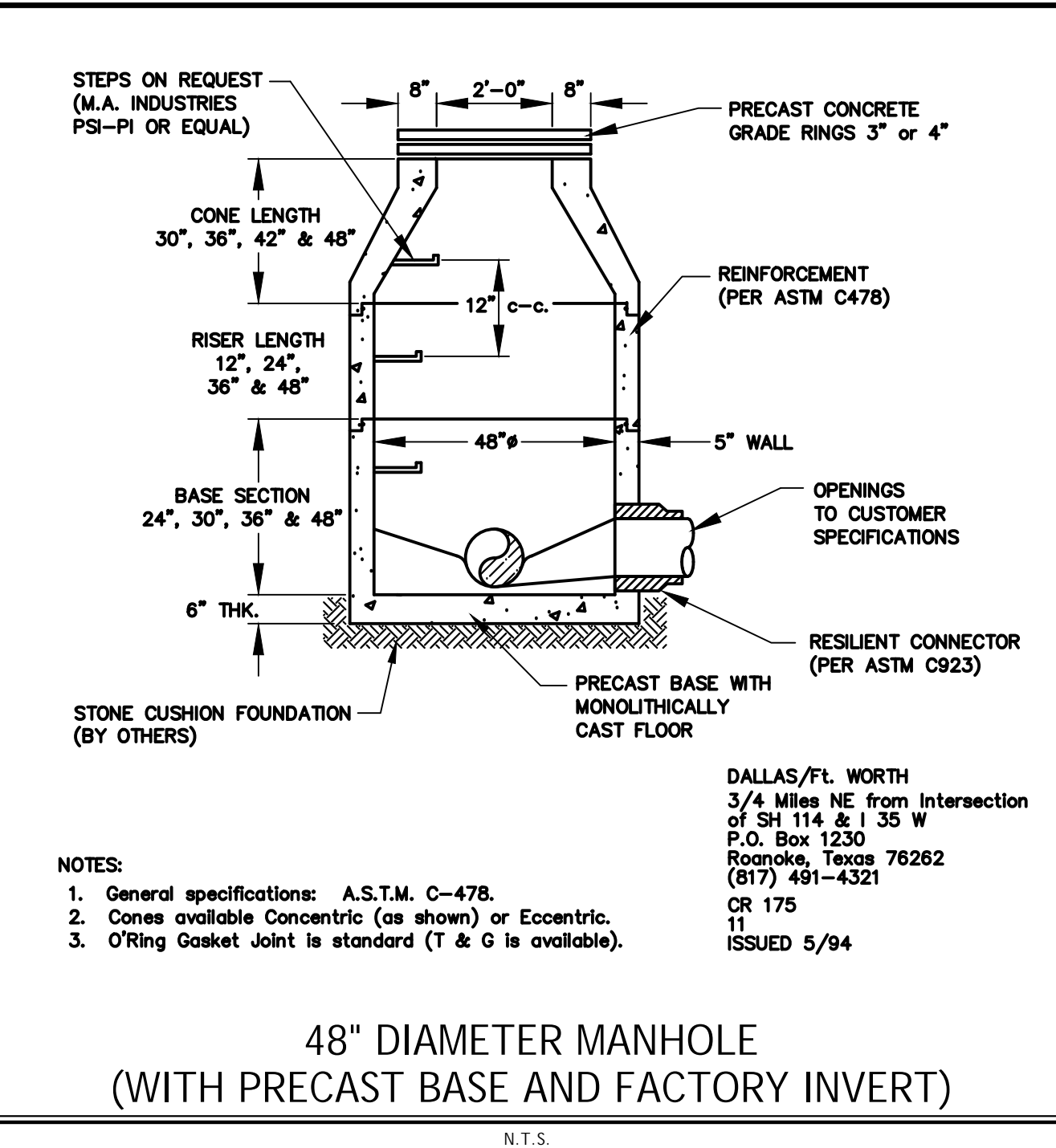
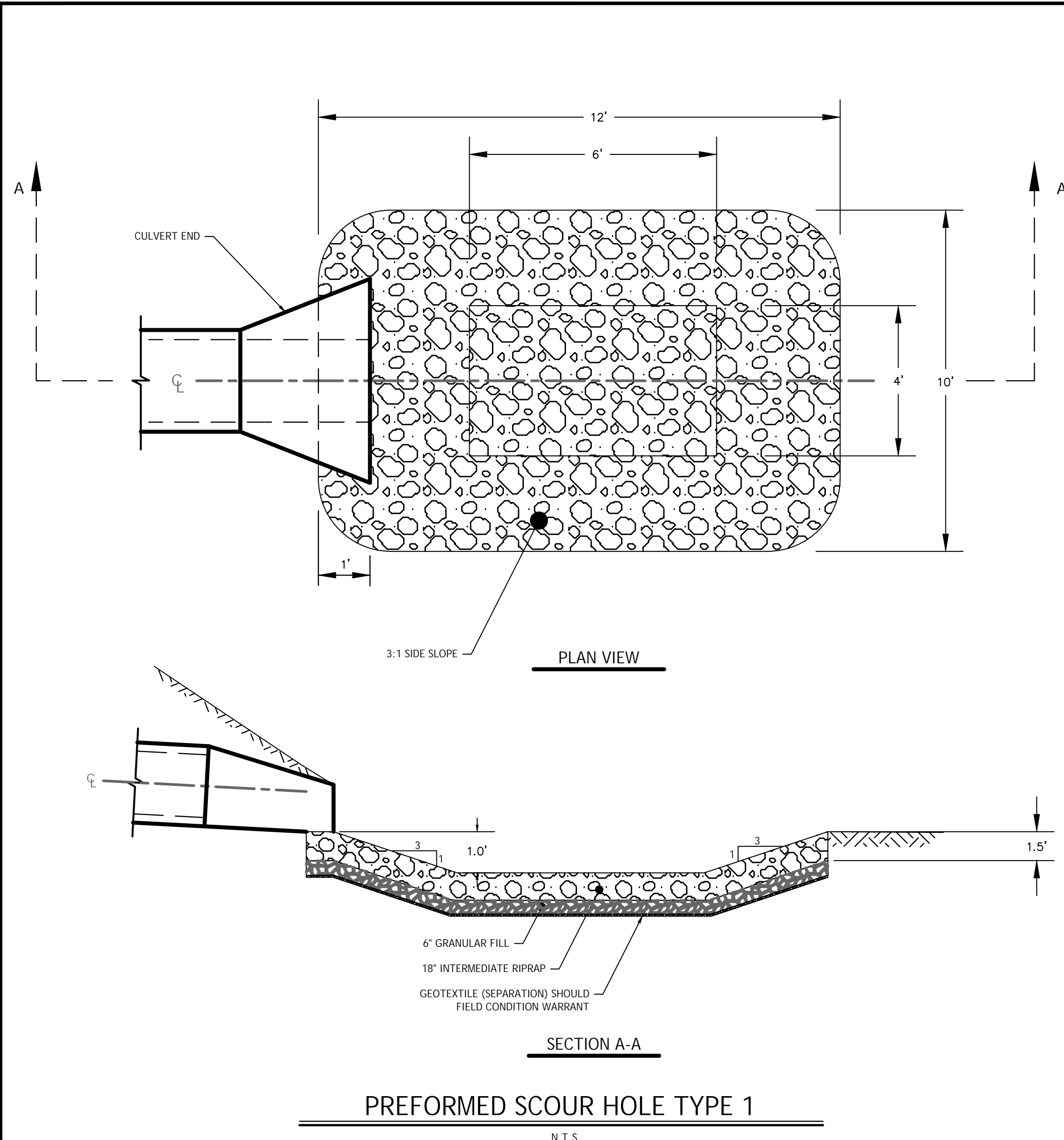
Product information for BEACON VIPER Area/Site luminaire, including features, specifications, and ordering guide.

Product information for BEACON RATIO Wall luminaire, including features, specifications, and ordering guide.

Product information for BEACON VIPER Pole Express Combo luminaire, including features, specifications, and stock shipment details.

Product information for BEACON RATIO Wall luminaire, including features, specifications, and ordering guide.

Freeman Companies, LLC. (2025) 2025-0109-1000 silas deane hwy-0109-DETAILS-01.dwg September 9, 2021 11:45 PM Plotter.ctb Plotted By: jyu



APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

PREPARED FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

REGISTERED PROFESSIONAL ENGINEER  
STATE OF CONNECTICUT  
No. 70048  
K. KRIGER

NO.	DATE	DESCRIPTION
1	12/05/2025	Response to Town comments
2	01/09/2026	Response to Updated Town comments

**FREEMAN COMPANIES**  
4640 TRILBY BLVD  
HILLIARD, OH 43026  
WWW.FREEMANCO.COM  
ELEVATE YOUR EXPECTATIONS

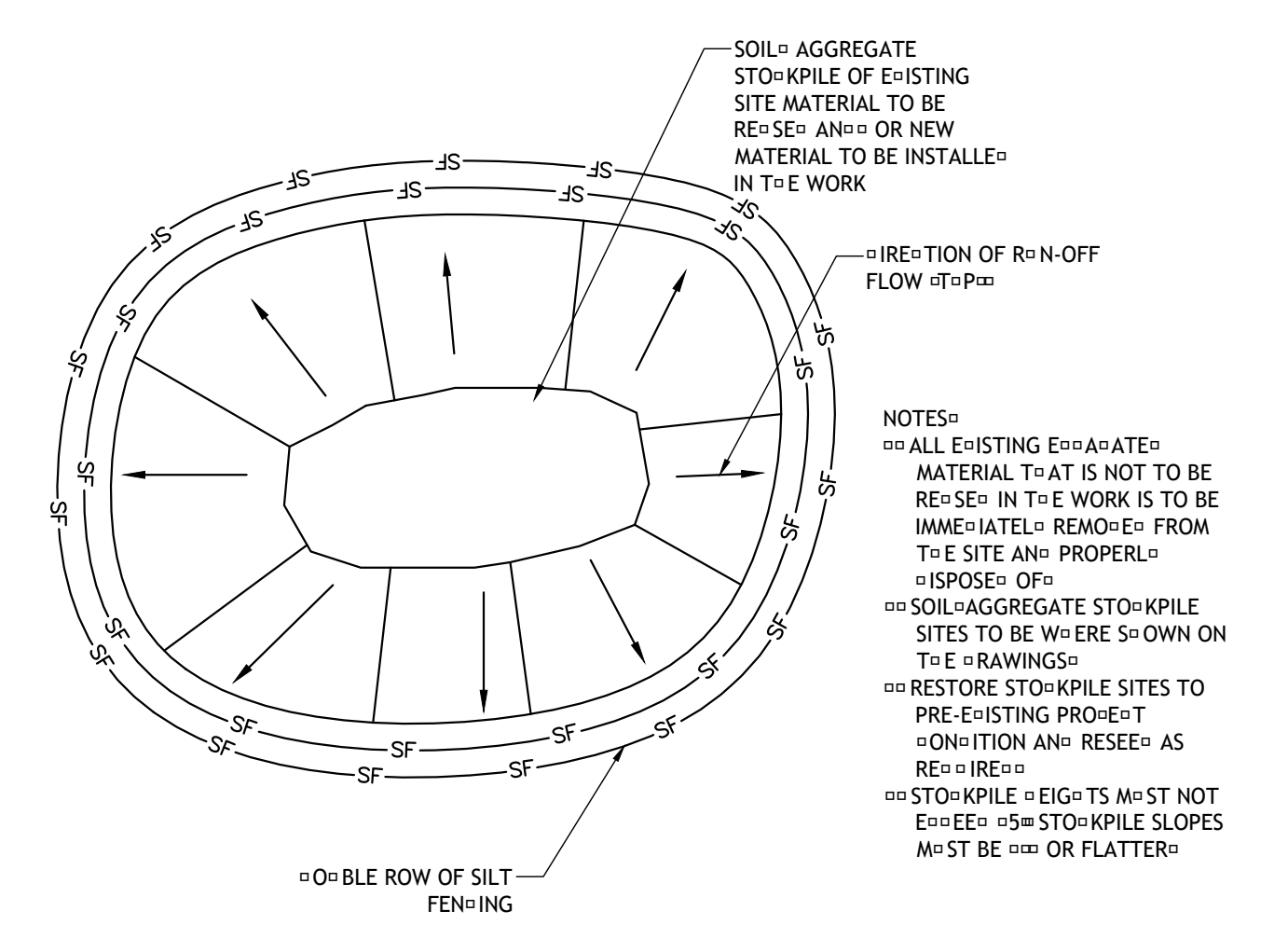
**1000 SILAS DEANE HWY**  
WETHERSFIELD, CONNECTICUT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC  
SCALE: AS SHOWN  
PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

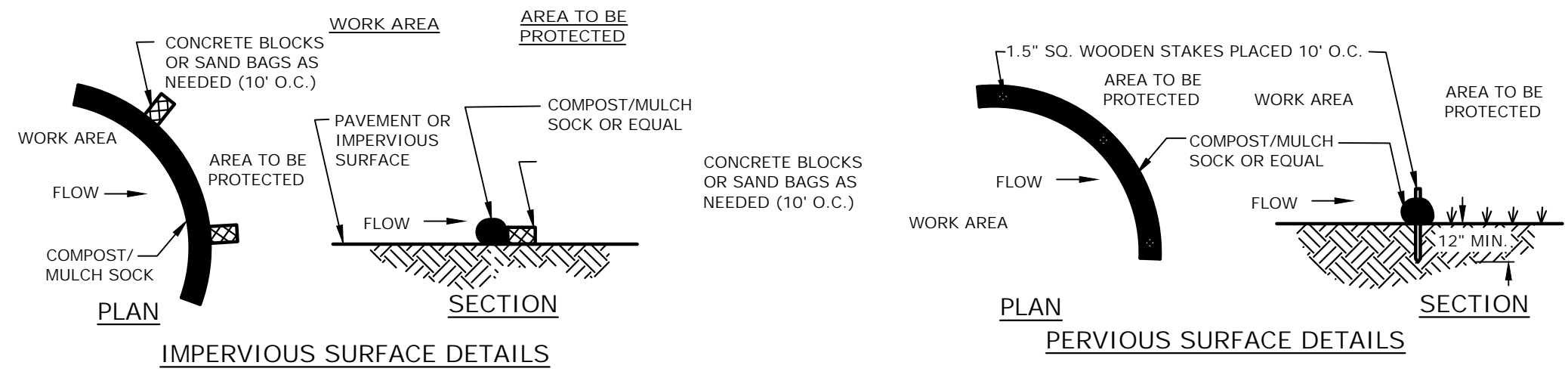
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SHEET NUMBER: C-704

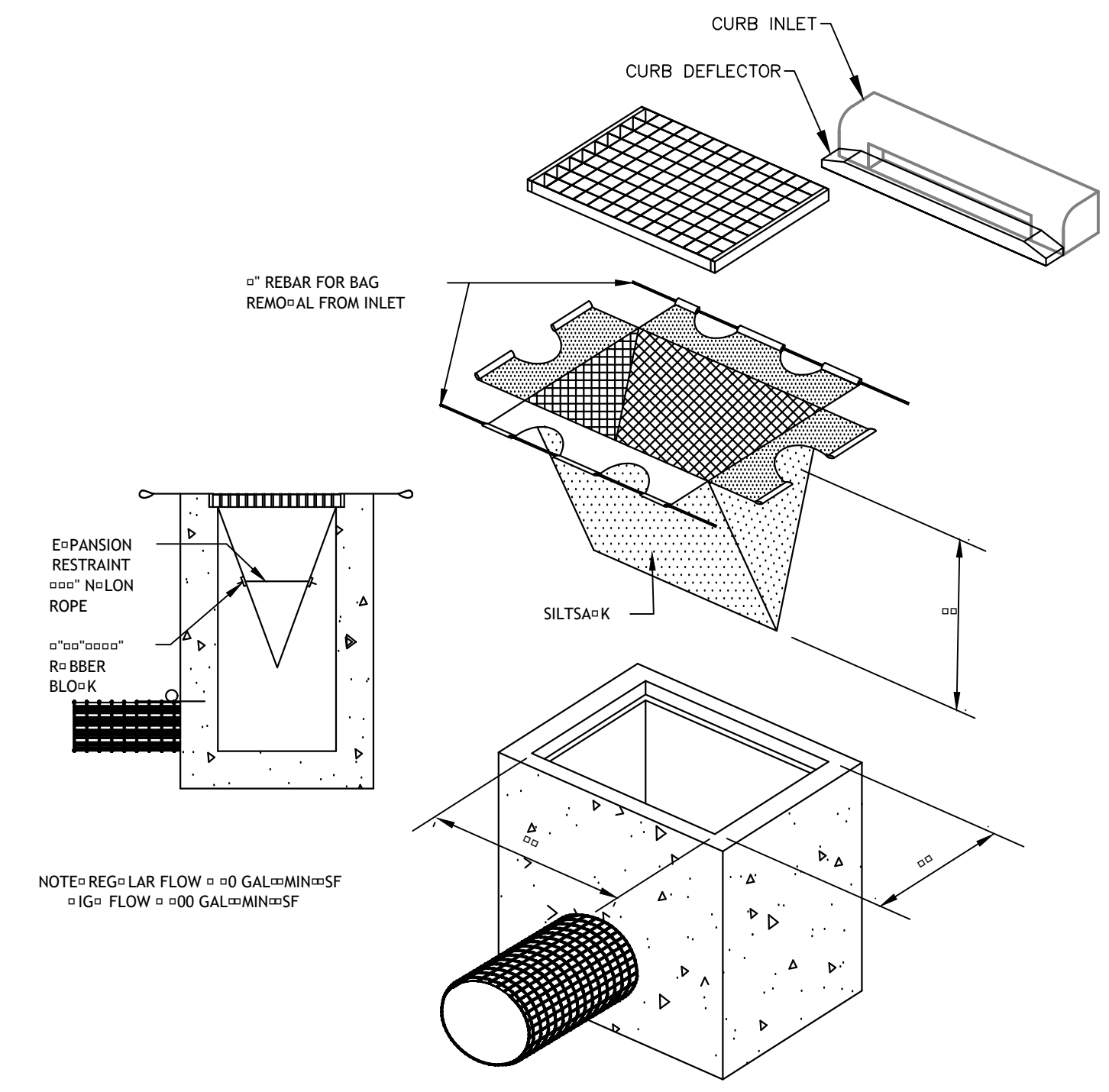
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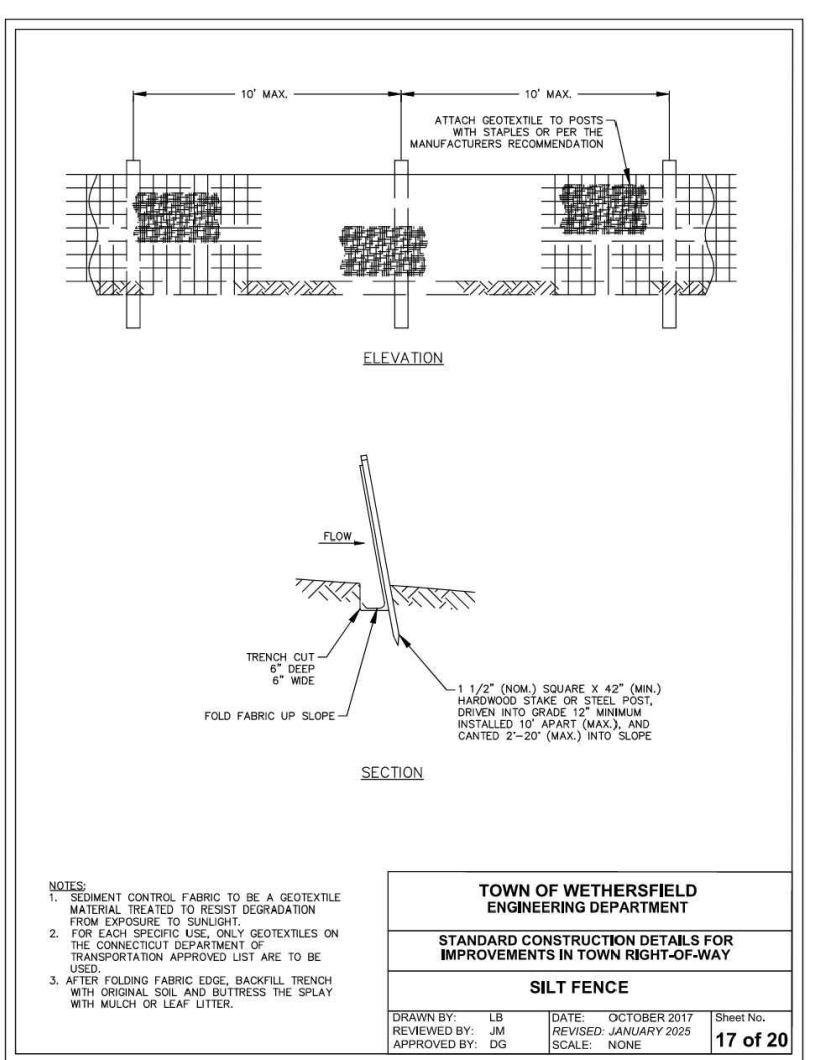
**TEMPORARY STOCKPILE AREA**



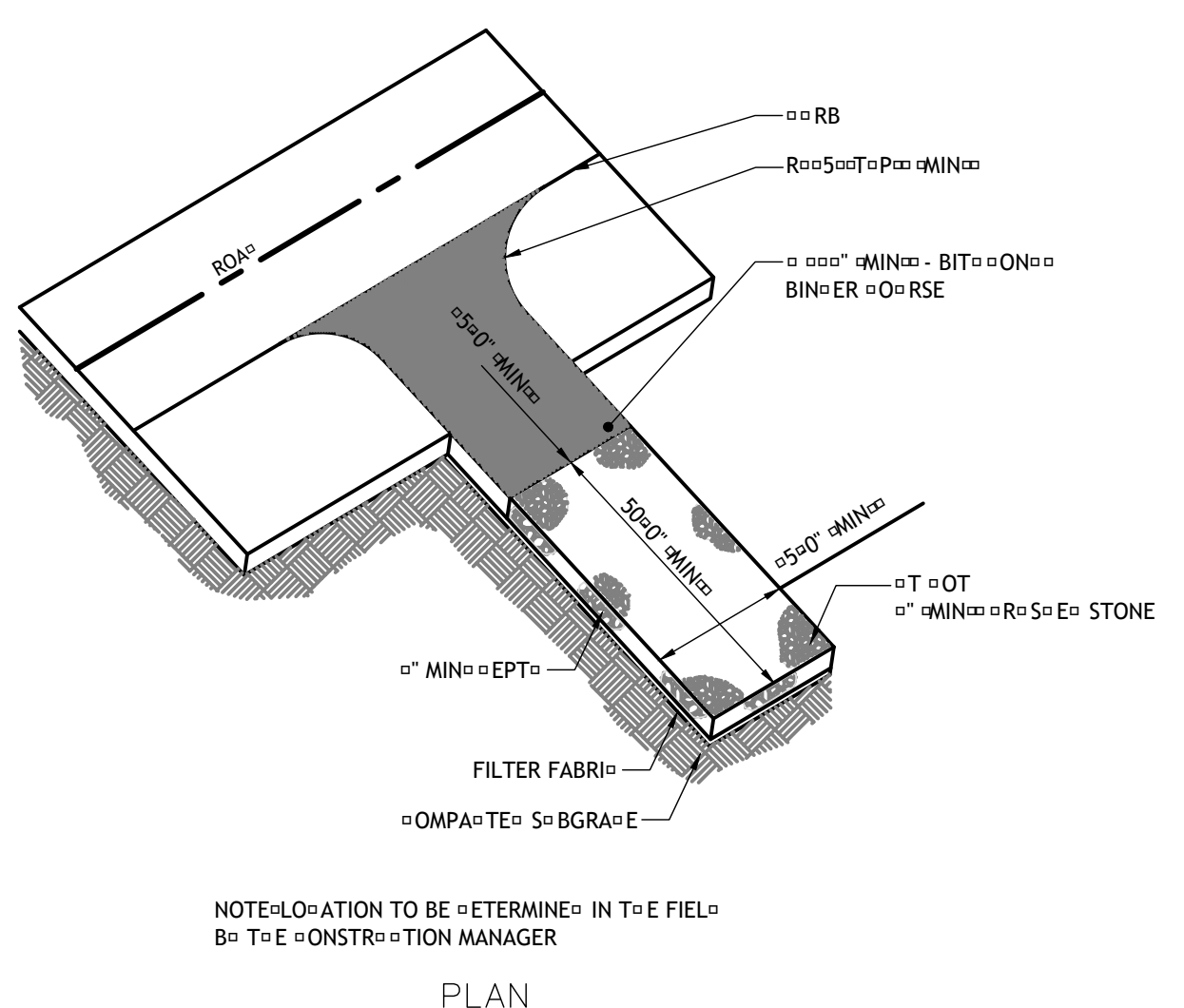
**COMPOST/MULCH SOCK DETAIL**



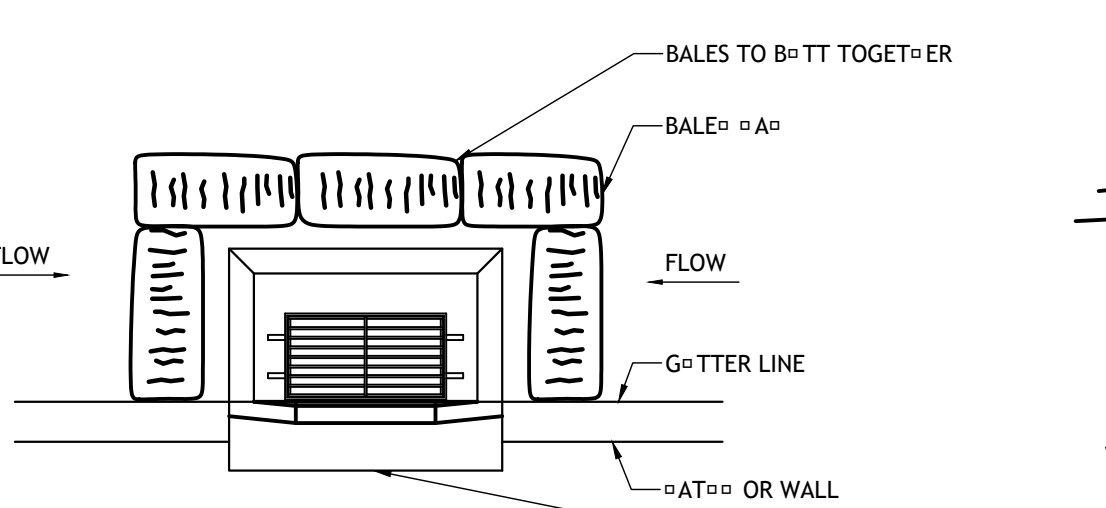
**SILT SACK DETAIL**



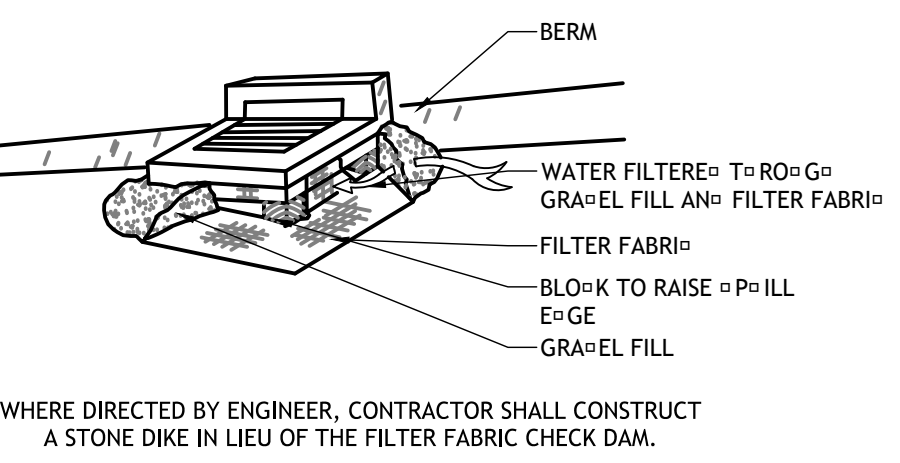
**SILT FENCE**



**CONSTRUCTION ENTRANCE**



**INLET PROTECTION**



**INLET PROTECTION**

APPROVED BY: [Signature]

WETTERSFIELD PLANNING AND ZONING COMMISSION

AIRMAN'S SIGNATURE

DATE SIGNED: [Date]

**EROSION AND SEDIMENT CONTROL NARRATIVE FOR: 1000 SILAS DEANE, WETHERSFIELD, CONNECTICUT**

**1. INTRODUCTION**

The erosion and sediment control plan has been prepared as part of the construction plans for 1000 Silas Deane in Wethersfield, CT. Information relating to sedimentation and erosion control is included in these drawings. All sedimentation and erosion control activities shall be in compliance with the stormwater pollution prevention plan prepared for this project.

**2. NARRATIVE**

The development site encompasses 1000 Silas Deane, Wethersfield, CT. The development includes pavement overlay and site improvements. The proposed area of disturbance is approximately 1.51 acres.

**3. CONSTRUCTION SCHEDULE**

AS CONTAINED IN THE SEDIMENTATION AND EROSION CONTROL SPECIFICATIONS, OPERATIONS AND MAINTENANCE DURING CONSTRUCTION WILL COMPLY WITH THE FOLLOWING SCHEDULE. IT IS NOT INTENDED TO TAKE THE PLACE OF THE CONTRACTOR'S RESPONSIBILITY FOR SCHEDULED SCHEDULING OF ALL CONSTRUCTION ACTIVITIES. HOWEVER, THE SCHEDULE WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS AND NO SUBSTANTIAL DEVIATION FROM THIS SCHEDULE SHALL OCCUR WITHOUT PRIOR APPROVAL OF THE CONSTRUCTION MANAGER.

START CONSTRUCTION  
PARTIAL GRADING  
FINAL GRADING  
END CONSTRUCTION

**4. CONSTRUCTION SCHEDULE**

THESE ARE THREE MAJOR PHASES OF CONSTRUCTION. EACH PHASE WILL INCLUDE THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES. IT IS NOT INTENDED TO TAKE THE PLACE OF THE CONTRACTOR'S RESPONSIBILITY FOR SCHEDULED SCHEDULING OF ALL CONSTRUCTION ACTIVITIES. HOWEVER, THE SCHEDULE WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS AND NO SUBSTANTIAL DEVIATION FROM THIS SCHEDULE SHALL OCCUR WITHOUT PRIOR APPROVAL OF THE CONSTRUCTION MANAGER.

1. CLEARING AND GRUBBING  
2. EROSION AND SEDIMENT CONTROL  
3. SITE IMPROVEMENTS PHASE

1. STRIP AND STOCK TOPSOIL. INSTALL HAY BALES AND SILT FENCE AROUND STOCKPILE AS REQUIRED.  
2. RELOCATE OR INSTALL ADDITIONAL SILT FENCE OR HAY BALES TO FULLY ENCLOSE AND CONTROL ALL WORK AREAS AS DIRECTED BY THE ENGINEER.

3. AS EXCAVATION PROGRESSES, PROVIDE TEMPORARY CHANNELS OR BERMS AS NECESSARY TO DIRECT SITE RUNOFF TO THE PROPOSED OR EXISTING DRAINAGE STRUCTURES AS DIRECTED BY THE ENGINEER.  
4. THE CONTRACTOR SHALL STOCKPILE ALL EXCESS DISEGATED MATERIAL AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER. HAYBALES SHALL BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. EXCESS MATERIAL WHICH WILL NOT BE REUSED SHALL BE TAKEN OFF-SITE IMMEDIATELY.  
5. REPLACE CLOGGED SEDIMENTATION CONTROL BALES AS REQUIRED AND CLEAN SEDIMENT FROM BASINS WHEN ACCUMULATION SEDIMENT EXCEEDS 8" IN DEPTH.

6. STORM DRAINAGE STRUCTURES  
1. AS SOON AS POSSIBLE CONSTRUCT STORM DRAINAGE SYSTEMS ON-SITE AND/OR SILT FENCE AROUND ALL INLETS TO PREVENT SEDIMENT FROM ENTERING NEWLY CONSTRUCTED OR EXISTING DRAINAGE SYSTEMS.  
2. FOLLOWING CONSTRUCTION OF CATCH BASINS AND OTHER INLETS, PROVIDE HAY BALES AND SILT SACKS.

7. FINAL GRADING AND PAVING  
SEDIMENT AND EROSION CONTROLS WITHIN THE PAVED AREAS SHALL BE LEFT IN PLACE UNTIL IMMEDIATELY BEFORE PAVING. MEASURES OUTSIDE OF THE PAVED AREA SHALL REMAIN UNTIL A STABLE VEGETATIVE GROWTH HAS BEEN ESTABLISHED ON ALL SLOPES OR UNTIL DIRECTED BY THE ENGINEER.

8. FINAL ITEMS  
CLEAN ALL CATCH BASINS AND STORM MANHOLES OF ALL ACCUMULATED SEDIMENT AS DIRECTED BY THE ENGINEER.

9. MAINTENANCE PLANS FOR FAILURE EROSION AND SEDIMENTATION CONTROL MEASURES  
FAILED EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE EVALUATED ON A CASE BY CASE BASIS BY THE ENGINEER AND APPROPRIATE MEASURES TAKEN. THESE MEASURES MAY INCLUDE: CLEANING AND/OR REPLACEMENT OF DEFECTIVE FACILITIES OR INSTALLATION OF NEW OR SUPPLEMENTAL FACILITIES.

10. SIGN CRITERIA  
THE FOLLOWING DESIGN REFERENCES WERE FOLLOWED FOR THE PREPARATION OF STORM DRAINAGE DESIGN AND EROSION AND SEDIMENT CONTROL PLANS:

- CONNECTICUT DOT DRAINAGE MANUAL
- SCS GUIDELINE FOR SOIL EROSION AND SEDIMENT CONTROL

SEDIMENTATION CONTROL BALES HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 7, SECTION F OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

11. CONSTRUCTION DETAILS  
CONSTRUCTION DETAILS FOR THE PROPOSED PROJECT ARE PRESENTED ON THE DETAIL SHEETS.

**5. INSTALLATION PROCEDURES**

THE INSTALLATION PROCEDURES FOR STORMWATER MANAGEMENT FACILITIES AND EROSION AND SEDIMENTATION CONTROL MEASURES ARE PRESENTED IN THE PROJECT'S TECHNICAL SPECIFICATIONS FOR DRAINAGE, EXCAVATION, FILLING AND GRADING, AND SEDIMENTATION AND EROSION CONTROL. ADDITIONAL INSTALLATION PROCEDURES ARE SHOWN ON THE CONSTRUCTION DETAILS BOTH VISUALLY AND BY USE OF CONSTRUCTION NOTES.

**6. OPERATION AND MAINTENANCE**

BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO CONTROL STORM WATER DISCHARGES AND TO PREVENT EROSION AND SEDIMENTATION AND TO OTHERWISE PREVENT POLLUTION OF WETLANDS OR WATERCOURSES. FOR INFORMATION AND TECHNICAL ASSISTANCE, CONTACT THE TOWN ENGINEER. THE PERMITTEE SHALL IMMEDIATELY NOTIFY THE ENGINEERING DEPARTMENT OF ANY PROBLEMS INVOLVING WETLANDS OR WATERCOURSES WHICH HAVE DEVELOPED BY THE COURSE OF OR WHICH ARE CAUSED BY THE AUTHORIZED WORK. NO EQUIPMENT OR MATERIAL INCLUDING WITHOUT LIMITATION, FILL, CONSTRUCTION MATERIALS, OR DEBRIS, SHALL BE DEPOSITED, PLACED, OR STORED IN ANY WETLAND OR WATERCOURSE ON OR OFF SITE. THE MAINTENANCE AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES ARE REQUIRED. ALL SEDIMENT AND EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED.

A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES ON THE SITE WITH THE CONTRACTOR AND TOWN STAFF.

AS CONTAINED IN THE SEDIMENTATION AND EROSION CONTROL SPECIFICATIONS, OPERATIONS AND MAINTENANCE DURING CONSTRUCTION WILL COMPLY WITH THE FOLLOWING SCHEDULE. IT IS NOT INTENDED TO TAKE THE PLACE OF THE CONTRACTOR'S RESPONSIBILITY FOR SCHEDULED SCHEDULING OF ALL CONSTRUCTION ACTIVITIES. HOWEVER, THE SCHEDULE WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS AND NO SUBSTANTIAL DEVIATION FROM THIS SCHEDULE SHALL OCCUR WITHOUT PRIOR APPROVAL OF THE CONSTRUCTION MANAGER.

**7. DESIGNATION ON-SITE AGENT**

THE PERSON RESPONSIBLE FOR OVERTSIGHT OF PROPER INSTALLATION AND MAINTENANCE OF ALL SOIL EROSION SEDIMENT CONTROL MEASURES FOR THIS PROJECT SHALL BE THE SITE CONTRACTOR.

**8. CONTROLS**

IT IS IMPORTANT THAT THE EXISTING AND PROPOSED STORM DRAIN SYSTEMS AND THEIR DISCHARGES TO DOWNSTREAM WATER RESOURCE AREAS BE PROTECTED DURING AND AFTER CONSTRUCTION FROM SEDIMENTATION AND POLLUTANTS TO THE MAXIMUM EXTENT POSSIBLE. ALL MATERIALS GENERATED BY CONSTRUCTION OPERATIONS SHALL BE REMOVED OFF-SITE AND DEPOSITED BY AN ACCORDANCE WITH LOCAL AND STATE REGULATIONS AT APPROVED DISPOSAL SITES. NO DRAINAGE DEBRIS WILL BE ALLOWED TO ENTER ANY RESOURCE AREA OR TO BE STORED BEYOND THE LIMITS OF WORK. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AS SOON AS POSSIBLE. IF NOT IMMEDIATELY CUT AND FILL SLOPES WILL NEED TO BE STABILIZED BY VEGETATION, RIPRAP OR EROSION CONTROL GEOTEXTILES AS SOON AS POSSIBLE TO MINIMIZE SOIL EROSION. WORK IN HIGH GRADE/WATER AREAS SHALL BE SCHEDULED, WHEN POSSIBLE, SO IT CAN BE COMPLETED IN A DRY PERIOD AND IN THE SHORTEST TIME POSSIBLE.

THE FOLLOWING TEMPORARY CONTROLS MUST BE MAINTAINED IN GOOD WORKING CONDITION THAT WILL PROTECT WATER RESOURCE AREAS FROM POLLUTION DURING CONSTRUCTION. EXTRA QUANTITY OF THESE CONTROLS MUST BE READILY AVAILABLE ON-SITE FOR REPAIRS AS NEEDED. REFER TO THE CONSTRUCTION DOCUMENTS FOR THE SPECIFICATIONS OF EROSION AND SEDIMENT CONTROLS.

CONSTRUCTION ENTRANCES - CONSTRUCTION ENTRANCES ARE USED TO PREVENT THE OFF-SITE TRANSPORT OF SEDIMENT BY CONSTRUCTION VEHICLES. INSTALL THE ENTRANCE BARRIERS AT THE CONSTRUCTION ENTRANCES. BARRIERS THAT ARE AT LEAST 50 FEET LONG AND GRADED SO SEDIMENT DOES NOT ENTER THE ADJACENT STREET. REPLACE OR REPLACE AS NECESSARY IF IT BECOMES CLOGGED WITH SEDIMENT. SWEEP THE AREA REGULARLY.

EROSION CONTROL BLANKET - EROSION CONTROL BLANKETS PROVIDE TEMPORARY STABILIZATION AND HELP TO ESTABLISH VEGETATION ON DISTURBED SOILS. INSTALL EROSION CONTROL BLANKETS ON SLOPES STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL AND IN SWALES. TRECH THE TOP OF THE BLANKET INTO THE GROUND TO PREVENT RUNOFF FROM FLOWING UNDER THE BLANKET. OVERLAP THE BLANKETS AND STAPLE DOWN ACCORDING TO SPECIFICATIONS TO ENSURE THAT RUNOFF STAYS ON TOP OF THE BLANKETS.

INLET PROTECTION - INLET PROTECTION ARE USED TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED AND BEFORE LAND-DISTURBANCE ACTIVITIES BEGIN IN AREA WITH EXISTING STORM DRAIN SYSTEMS. CLEAN OR REPLACE THE PROTECTION MEASURES AS SEDIMENT ACCUMULATES. THE FILTER BECOMES CLOGGED, AND/OR PERFORMANCE IS COMPROMISED, WHERE THERE IS EVIDENCE OF SEDIMENT ACCUMULATION ADJACENT TO THE INLET PROTECTION MEASURE, THE DEPOSITED SEDIMENT MUST BE REMOVED AS SOON AS POSSIBLE.

TEMPORARY DIVERSION SHALES - TEMPORARY DIVERSION SHALES SHALL COLLECT AND CONVEY RUNOFF FROM EXPOSED SOIL AREAS INTO TEMPORARY DIVERSION TRAPS PRIOR TO REGRADING FURTHER DOWN GRABENT. INSTALL TEMPORARY DIVERSION SHALES AS SHOWN ON THE CONSTRUCTION DOCUMENTS AND USED TO PREVENT SCOURING AND HILL EROSION IN THE FIELD. THE TEMPORARY DIVERSION SHALES SHALL BE LINED WITH EROSION CONTROL FABRIC AS DETAILED TO PREVENT EROSION. ROUTINELY CHECK THE TEMPORARY DIVERSION SHALES FOR FUNCTIONALITY. FOR ANY SETTLED, SLUMPED, SCOURED OR BROKEN AREAS WITHIN THE SHALES AS NEEDED TO OBTAIN PROPER PERFORMANCE.

SILT FENCE - THE PURPOSE OF A SILT FENCE IS TO RETAIN THE SOIL ON-SITE. INSTALL SILT FENCE AS SHOWN ON THE CONSTRUCTION DOCUMENTS. LEAVE SPACE FOR MAINTENANCE BETWEEN TOP OF SLOPE AND SILT FENCE. INSTALL THE SILT FENCE ON THE UPHILL SIDE. INSTALL STAKES ON THE DOWNHILL SIDE OF FENCE. CURVE THE END OF THE SILT FENCE TO HELP CONTAIN RUN OFF. REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE. SHOULD THE SILT FENCE BECOME OR BECOME INEFFECTIVE, REPLACE FABRIC PROMPTLY. INSPECT ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT. INSPECT SILT FENCE FOR ACCUMULATED SEDIMENT HEIGHT, DAMAGE, AND GAPS BETWEEN FENCE AND GROUND.

SOIL STOCKPILES - THE SOIL STOCKPILES SHALL BE SURROUNDED BY TWO ROWS OF SILT FENCE. STOCKPILES STORED FOR MORE THAN 30 DAYS SHALL BE SEED WITH TEMPORARY COVER TO PREVENT EROSION. DO NOT HOSE DOWN OR SHEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORM DRAIN STRUCTURES.

TEMPORARY SEED AND MULCH - TEMPORARY SEEDING AND MULCH SHALL BE USED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY ON EXPOSED SOIL AREAS. TEMPORARY SEEDING SHALL BE CONDUCTIVE TO THE SEASON. SEEDING AREAS SHALL ALSO BE MULCHED WITH STRAW REASONABLY FREE FROM HORMONES AND FOREIGN MATTER DETRIMENTAL TO THE SEEDING. RECORDS OF ALL STABILIZATION ACTIVITIES AND BUFFER ZONE CONSTRUCTION SHALL BE KEPT AND NOTED ON INSPECTION REPORTS. INSPECT HEAVILY SEEDING AREAS FOR FAILURE AND, IF NEEDED, RESEED AND REPAIR AS SOON AS POSSIBLE.

LANDSCAPE AREAS - LANDSCAPE AREAS SHALL BE MOWED REGULARLY. VEGETATION SHALL BE PRUNED AS NECESSARY. SLOPES STEEPER THAN 1:1 HORIZONTAL - SLOPES SHALL BE INSPECTED AT LEAST EVERY SIX MONTHS TO CHECK FOR HILL EROSION. CORRECTIVE MEASURES - FOR ANY SHORTCOMINGS OF THE ABOVE CORRECTIVE MEASURES SHALL BE TAKEN. THESE INCLUDE BUT ARE NOT LIMITED TO: REMOVAL OF ANY SEDIMENT/DEBRIS WITHIN THE STORMWATER SYSTEM, CLEANING ANY AREA THAT NEEDS IT, REPLACEMENT OR REPAIRING OF ANY NON-FUNCTIONING OR DAMAGED COMPONENTS OR INFRASTRUCTURE, RESEEDING ANY AREA THAT NEEDS IT, PLACEMENT OF EROSION CONTROL FABRIC AS NEEDED, REPLACEMENT OR ADDITION OF RIPRAP AS NEEDED.

OTHER CONTROLS  
DUST CONTROL - CONSTRUCTION ACTIVITIES WILL RESULT IN EMISSIONS OF DUST TO THE SURROUNDING AREAS. SPRAY WATER OR CALCIUM CHLORIDE AS NECESSARY TO CONTROL DUST FROM CONSTRUCTION ACTIVITIES.

WASHOUT AREAS - CLEARLY MARK OUT WASHING AREAS. ALL WASHING MUST OCCUR IN THIS AREA. USE HIGH-PRESSURE WATER SPRAY WITHOUT ANY DRAINAGE. THERE SHALL BE NO SURFACE DISCHARGE OF WASHOUT WASTEWATERS FROM THE AREA. WASHOUT WASTEWATERS SHALL BE DIRECTED INTO A CONTAINER OR PIT DESIGNED SUCH THAT NO OVERFLOWS WILL OCCUR DURING RAINFALL EVENT. DO NOT USE THIS AREA FOR ANY OTHER ACTIVITIES SUCH AS VEHICLE REPAIRS.

WASTE DISPOSAL - SOLID WASTE DUMPSTERS SHALL BE LOCATED ON-SITE TO PROPERLY DISPOSE SOLID WASTE MATERIALS. LOCATE DUMPSTERS AWAY FROM STREETS AND STORM DRAINS.

DETERMINING - SHALL BE CONDUCTED FOR THE GENERAL PERMIT. DISCHARGE OUTFALLS SHALL BE AS DETAILED IN THE CONSTRUCTION DOCUMENTS OR APPROVED EQUAL. THESE SHALL BE LOCATED GREATER THAN 50 FEET AWAY FROM REGULATED AREAS AND SHALL BE FLAGGED IN THE FIELD.

FUEL STORAGE - SHALL BE IN ACCORDANCE WITH THE DEEP LEGAL REQUIREMENTS, BOTH ABOVE GROUND AND UNDERGROUND STORAGE TANKS AND THEIR PIPING SYSTEMS ARE SUBJECT TO THE NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) CODE. CHECK WITH MUNICIPAL FIRE MARSHAL FOR LOCAL REQUIREMENTS, OR CONTACT THE STATE FIRE MARSHAL'S OFFICE AT 860-885-8380. CONTRACTOR SHALL REGULARLY INSPECT FUEL STORAGE TANKS AND ASSOCIATED PIPING FOR LEAKS.

PREPARED FOR:  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109

OWNER FOR:  
KCH TRADING INC  
1000 SILAS DEANE HWY,  
WETHERSFIELD, CT 06109



NO.	DATE	DESCRIPTION
1	12/09/2025	Response to Town comments
2	01/07/2026	Response to Updated Town comments

**FREEMAN COMPANIES**

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

DESIGNED: FC  
DRAFTED: FC  
CHECKED: FC  
APPROVED: FC  
SCALE: AS SHOWN  
PROJECT NO.: 2025-0109  
DATE: 11/05/2025  
CAD FILE:

TITLE: EROSION AND SEDIMENTATION CONTROL DETAILS

SHEET NUMBER: 05

# KEN FOODS SUPERMARKET

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

ARCHITECT:

XZ Architecture  
29 Broadway #2400, New York, NY 10006  
917 383 2345  
szhang@xzarch.com  
www.xzarch.com

REVISIONS:

DESIGN DEVELOPMENT

Drawing Title:

COVER SHEET

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**G-001.00**

SHEET 1 OF 31

**GENERAL NOTES:**

- Scope of work: general construction work as per plans filed herewith. There is are change of use occupancy and egress under this application.
- All work shall conform to codes, ordinances, regulations and requirements of local, country state, national building safety codes and other agencies and authorities having jurisdiction over the project, including but not limited to the CT department of buildings.
- Before commencing work, the contractor shall file all required certificates of insurance with the department of buildings, obtain all required permits and pay all fees required by governing local agencies. A copy of the permit(s) must be provided to the building management.
- Contractor shall perform all operations of scope of work indicated on the drawings and that may be required by existing conditions. All work shall be done carefully and neatly in a systematic and workperson-like manner.
- Errors or omissions, in any schedule or drawing, do not relieve the contractor(s) from executing work intended in the drawing or described in the specifications.
- Architectural drawings supersede locations of grilles, plumbing fixtures, outlets or switches shown on engineering drawings.
- Verify all site dimensions, spot elevations, conditions and utilities on project and contract documents at project site prior to beginning construction; Discrepancies to be reported to owner and architect for clarification.
- If a finish elevation provided in the contract documents differs from the existing finish elevations, the contractor shall promptly notify the architect of the discrepancy.
- All contractors shall familiarize themselves with all plans and specifications. it is the responsibility of all trades to coordinate their jobs with other trades and perform their job in a workperson-like manner and according to the above said building and safety codes. The framing contractor is responsible for verifying that all stud walls are plumb and joists are level after blocking and cross-bridging, but prior to having gypsum board or any other finish material. Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in classifying or specifying any product, material or method of assembly is to be pointed out to the architect immediately. A written addendum shall be issued as necessary and shall become a part of the contract documents therein clarification.
- All drawing dimensions shall be verified in field prior to commencement of construction.
- Contractors to supply samples of all material finishes and colors for final approval by the architect and owner prior to installation.
- The contractor(s) shall bear the total expense for and shall repair any damage to existing construction, utilities, piping, conduit or equipment caused by his work.
- All trades are responsible for protecting the structure and finishes during construction, installation and until final payment.
- Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated within the drawings. This shall include but not limited to metal clips, straps and angles for support of gypsum board wall, pipes, etc.
- The contractor shall coordinate all work procedures with requirements of local authorities and agencies.
- The contractor shall be responsible for the protection of all materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The contractor shall have sole responsibility for any damage or injuries caused during execution of the work.
- The contractor shall lay out his own work and shall provide all dimensions required for other trades (plumbing, electrical, etc).
- Plumbing and electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain inspections and required sign-offs. A certificate of electrical inspection must be provided to the building management at the completion of the work.
- The contractor will coordinate inspection of all plumbing and electrical work with inspectors, architects and/or consultants prior to closure. In the event that the inspections are not properly coordinated, then the contractor will have to re-open the areas that were closed for inspection.
- The contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings and all other work that may be required to complete the job.
- All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.
- The contractor shall be responsible for all building's requirements as set forth in 1000 Silas Deane alteration and construction agreement.
- All millwork shall conform to the requirements and specifications as set forth by the architectural woodwork institute for premium grade.
- All expressed gyp. board corners to receive J-beads.
- All construction is to comply with the requirements of the CT Building Codes for a Class I fireproof building, all wood to be used will be fire-rated.
- The contractor shall provide a construction schedule coordinating all related trades and sequencing of work.
- The contractor will walk through apartment spaces and building areas surrounding the apartment so that pre-construction photographs can be taken and provided to management. All existing defects must be pointed out to management prior to work start.
- All walls will be constructed with moisture resistant gypsum board.
- No ceiling or party/chase wall mounted speakers will be installed.
- Water based, low voc paints and floor finishing materials shall be used. proper ventilation must be provided during installation and drying processes.
- Where applicable, all existing through slab penetrations, party/chase wall penetrations, party and chase wall joints at the top and bottom must be sealed with approved fire stop sealant/material in order to prevent dust infiltration, sound/noise infiltration, odor infiltration, rodent access and fire transmission into surrounding apartments and building spaces/chases. All fire rated chase walls, enclosures and fire stopping must remain in place until actual proposed work is approved and implemented. these areas cannot be left open overnight. dust protection with proper protection against transfer of noise and dust as well as fumes must be implemented immediately upon opening. any work performed cannot lower existing fire ratings.
- If applicable, an asbestos test will be performed by a licensed asbestos investigator. the result will be filed with the CT department of buildings. if asbestos is present, the contractor is responsible for abating and disposing of any asbestos and/or lead containing materials per Local, State and Federal Laws.
- Dimensions are to finish UNO.
- Alterations will not require the relocation of any utility, piping or conduit serving another unit.
- No new water or gas piping will be run in the floor.
- Contractor shall be responsible for coordinating with the owners A/V designer/installer, if applicable.
- No cutting or channeling of building structure should be permitted for any work of the alteration.
- Contractor to coordinate A/V outlets and wiring, as needed.

**IECC COMPLIANCE STATEMENT**

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE, USING CHAPTERS C4 FOR COMMERCIAL BUSINESS

**ENERGY ANALYSIS FOR ALTERATION - CLIMATE ZONE 5**

ELEMENTS (ITEM DESCRIPTION)	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE	SURPORTING DOCUMENT
REPLACE CEILING	N/A	N/A	drawing A-101,A102,A103
NEW EXTERIOR DOOR	N/A	MINIMUM R VALUE: 4.75	drawing A-101,A102,A103
NEW PARTITION	N/A	N/A	drawing A-101,A102,A103
NEW STOREFRONT	N/A	N/A	drawing A-101,A102,A103
LIGHTING EQUIPMENT	PROVIDE 100% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH-EFFICACY LAMPS	A MIN. OF 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS (SECTION C405.3)	drawing A-101,A102,A103

**TENANTS SAFETY NOTES:**

- All work shall be performed in accordance with the building code of the State of Connecticut and all other applicable codes and regulations.
- Construction shall be confined to the areas indicated on the approved documents and shall be performed in such a manner so as to create minimum disturbance to the current occupants.
- Dust control: work will be confined to the areas of approved construction. All reasonable measures will be taken to minimize the creation of dirt, dust, and other airborne particles, and to confine such matter to the areas of construction. The immediate construction area shall be periodically cleaned to avoid excess accumulation of dust and dirt.
- Construction operation will not involve extended interruption of heating, water, or electrical services to the tenants.
- Construction work will not block any required means of egress.
- All building material stored at the site shall be stored in locked areas. Access to these areas shall be controlled by the owner, or the general contractor. All building material shall be stored in a neat, orderly manner.
- Fire safety: building material, including combustible and flammable material, shall be stored in compliance with all applicable codes and regulations, and in accordance with manufacturer's suggestion. All such materials shall be stored in manufacturer's containers or other approved containers, as applicable.
- Electrical safety: all electrical power shall be shut-off where there is exposed conduit; all electrical power in the construction shall be shut-off except during working hours; electrical power to the stairwell and boiler shall remain on for safety purposes.
- The contractor is to utilize low V.O.C. and environmentally compatible products on this project, including but not limited to paints, varnishes, sealers, strippers and all non-natural building/finish components such as MDF, etc.

**DEMOLITION NOTES:**

- Contractor shall perform all operations of demolition and removal indicated on the drawings and may be required by the work. All work shall be done carefully and neatly, in a systematic manner.
- Contractor shall make adequate probes of existing partitions to be demolished to determine the presence of any concealed risers, electrical conduit, telephone or other utilities servicing the building or other apartments prior to commencing demolition work.
- Contractor shall assure that no building systems will be demolished, damaged or relocated during demolition or construction within the apartment including, but not limited to ventilation and fire-rated shafts, electrical, intercom, gas, heating or plumbing risers among others.
- Contractor will fire-safe any openings in the floors or walls between apartments as soon as they are exposed.
- All existing surfaces and equipment to remain shall be fully protected from damage, contractor shall assume full responsibility for the damage and shall make repairs required without additional cost to the owner.
- No structural elements shall be removed unless portions affected are adequately supported by either temporary shoring or new structural elements as required to protect the stability and integrity of the existing structure.
- Remove or relocate all wiring, plumbing fixtures and fittings and mechanical equipment affected by removal of partitions, removed pipes and/or lines shall be cut to a point of concealment behind finished surfaces and shall be properly capped or plugged.
- Contractor shall be responsible for all remedial work related to all surfaces affected by the demolition.
- Contractor shall provide adequate weather protection for the apartment and common spaces during the duration of work. All openings shall be protected from all forms of weather or water penetration.
- All material to be demolished or removed shall be hauled away unless otherwise noted.
- Channeling or chopping of structural slabs, beams, ceilings, columns, floors, fire rated chases and walls, or exterior masonry walls is not allowed.
- Provide all remedial work to all existing conditions that are affected by demolition.
- All vent openings, convectors, entry and service doors shall be sealed off with polyethylene sheeting 6 mil. thick or greater and/or duct taped during demolition to prevent dust from infiltrating building systems, corridors and stairs.
- All work shall be confined to the apartment and done in such a manner and at such time so as to minimize disturbance to other occupants of the building or the operation of the building's services. The work shall be discontinued immediately should the Corporation deem that it is creating a disturbance to other occupants of the building or causing any interruption of the normal operation of the building. Shareholder shall give at least ten (10) days written notice of any noise producing work, including replacement of floors, to the residents of adjacent apartments.

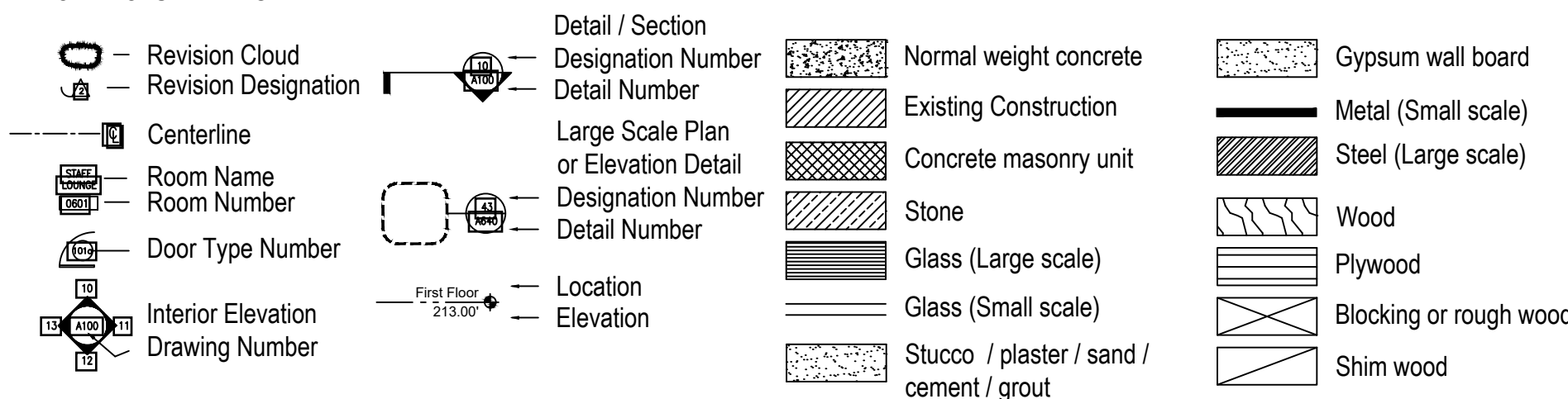
**SMOKE / CARBON MONOXIDE DETECTORS**

- Scope covers the requirements for the proper selection, installation, operation and maintenance of fire warnings equipment for use within dwelling units or rooming units.
- The installation of wiring and equipment shall be in accordance with the CT electrical code and LL 7/04. Detectors locations should follow the 2018 CT STATE BUILDING CODE, ECTION 915 - CARBON MONOXIDE DETECTION
- Each detector shall have integral test means to permit the occupant to check that it is operational. A continuous power display indicator light is recommended.
- If ceiling mounted, the closest edge of the detector shall be a minimum of 4" from any wall.
- If wall mounted, the closest edge of the detector shall be a minimum of 4" and a maximum of 12" from the ceiling.

**SPECIAL INSPECTIONS**

- The following are subject to special inspections:
  - FINAL INSPECTIONS 28-116.2.4,BC 110.5, DIRECTIVE 14 OF 1975
  - ENERGY INSPECTIONS FOR INTERIOR LIGHTING POWER AND LIGHTING CONTROLS.
  - MECHANICAL SYSTEMS BC 1704.16
  - FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27

**ARCHITECTURAL LEGEND:**



**ABBREVIATIONS:**

ADJ - Adjustable	OC - On center
AFF - Above finish floor	PBO - Provided by owner
BO - Bottom of	PTD - Painted
CAB - Cabinet	PLYWD - Plywood
CL - Closet	SHLVS - Shelves
CONT - Continuous	SPKR - Speaker
CONC - Concrete	SS - Stainless steel
DEMO - Demolition	STL - Steel
Ø - Diameter	STRUC - Structural
DTL - Detail	THK - Thickness
ELEC - Electrical	TO - Top of
EL - Elevation	TYP - Typical
EQ - Equal	U.O.N. - Unless otherwise noted
EXIST. / EX - Existing	VIF - Verify in field
FIX - Fixed	W/ - With
GYP.BRD - Gypsum board	WD - Wood
INCL - Include, included	
LP - Low point	
MECH - Mechanical space	
MEP - Mechanical	

**DRAWING LIST:**

SHEET NO.	SHEET TITLE	SCALE
G-001.00	COVER SHEET	AS NOTED
G-002.00	CODE REVIEW SHEET	AS NOTED
G-003.00	ADA DIAGRAMS & NOTES	AS NOTED
A-101.00	EXISTING SITE PLAN	AS NOTED
A-102.00	UPPER LEVEL EXISTING PLAN	AS NOTED
A-103.00	LOWER LEVEL EXISTING PLAN	AS NOTED
A-104.00	UPPER LEVEL DEMOLITION PLAN	AS NOTED
A-105.00	LOWER LEVEL DEMOLITION PLAN	AS NOTED
A-106.00	PROPOSED SITE PLAN	AS NOTED
A-201.00	UPPER LEVEL PROPOSED PLAN	AS NOTED
A-202.00	LOWER LEVEL PROPOSED PLAN	AS NOTED
A-203.00	UPPER LEVEL PROPOSED PHASING PLAN	AS NOTED
A-204.00	LOWER LEVEL PROPOSED PHASING PLAN	AS NOTED
A-205.00	UPPER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-206.00	UPPER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-207.00	UPPER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-208.00	UPPER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-209.00	UPPER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-210.00	LOWER LEVEL ENLARGED FLOOR PLAN	AS NOTED
A-211.00	UPPER LEVEL REFLECTED CEILING PLAN	AS NOTED
A-212.00	LOWER LEVEL REFLECTED CEILING PLAN	AS NOTED
A-213.00	UPPER LEVEL POWER PLAN	AS NOTED
A-214.00	LOWER LEVEL POWER PLAN	AS NOTED
A-301.00	NEW EXTERIOR ELEVATION	AS NOTED
A-302.00	NEW EXTERIOR ELEVATION	AS NOTED
A-303.00	UPPER LEVEL EGRESS PLAN	AS NOTED
A-304.00	LOWER LEVEL EGRESS PLAN	AS NOTED
A-305.00	PARTITION TYPES AND DETAILS	AS NOTED
A-401.00	SCHEDULE	AS NOTED
A-402.00	SCHEDULE	AS NOTED
A-403.00	SCHEDULE	AS NOTED

## CODE REVIEW

BUILDING ADDRESS: 1000 SILAS DEANE HWY WETHERSFIELD, CT 06109

LOT: 3.51AC  
 BUILDING TYPE: REGIONAL COMMERCIAL / INDUSTRIAL GENERAL  
 ZONING DISTRICT: RC-REGIONAL COMMERCIAL  
 ZONING MAP: TOWN OF WETHERSFIELD ZONING MAP, DEC.18 2014  
 STORIES: 1 STOREY & 1 CELLAR  
 HEIGHT: 25 FT  
 WORK UNDER CODE: 2022 CONNECTICUT STATE BUILDING CODE,  
 2015 INTERNATIONAL EXISTING BUILDING CODE

OCCUPANCY: S-2 & GROUP M  
 BUILDING USE: RETAIL  
 CONSTRUCTION TYPE: TYPE II-B  
 FLOOD MAP STATUS: AREA OF MINIMAL FLOOD HAZARD. ZONE X  
 CLIMATE ZONE: 6a & 6b

### PROPOSED RETAIL

USE GROUP: RETAIL & COMMERCIAL (USE GROUP M - MERCANTILE)  
 GROUND:

PROPOSED BUILDING AND ZONING FLOOR AREA				
FLOORS	BUILDING AREA (S.F)		DEDUCTIONS	F.A.R.
	EXISTING	PROPOSED		
UPPER	76,902	76,559	0.002	0.506
LOWER	28,131	28,131	0.00	0.00
TOTAL	105,033	104,690	0.002	0.506

TABLE OF BUILDING SQUARE FOOTAGE CALCULATIONS (SALES 39,028, INVENTORY 35,535, CLOSED NUMBERS 30,127.)

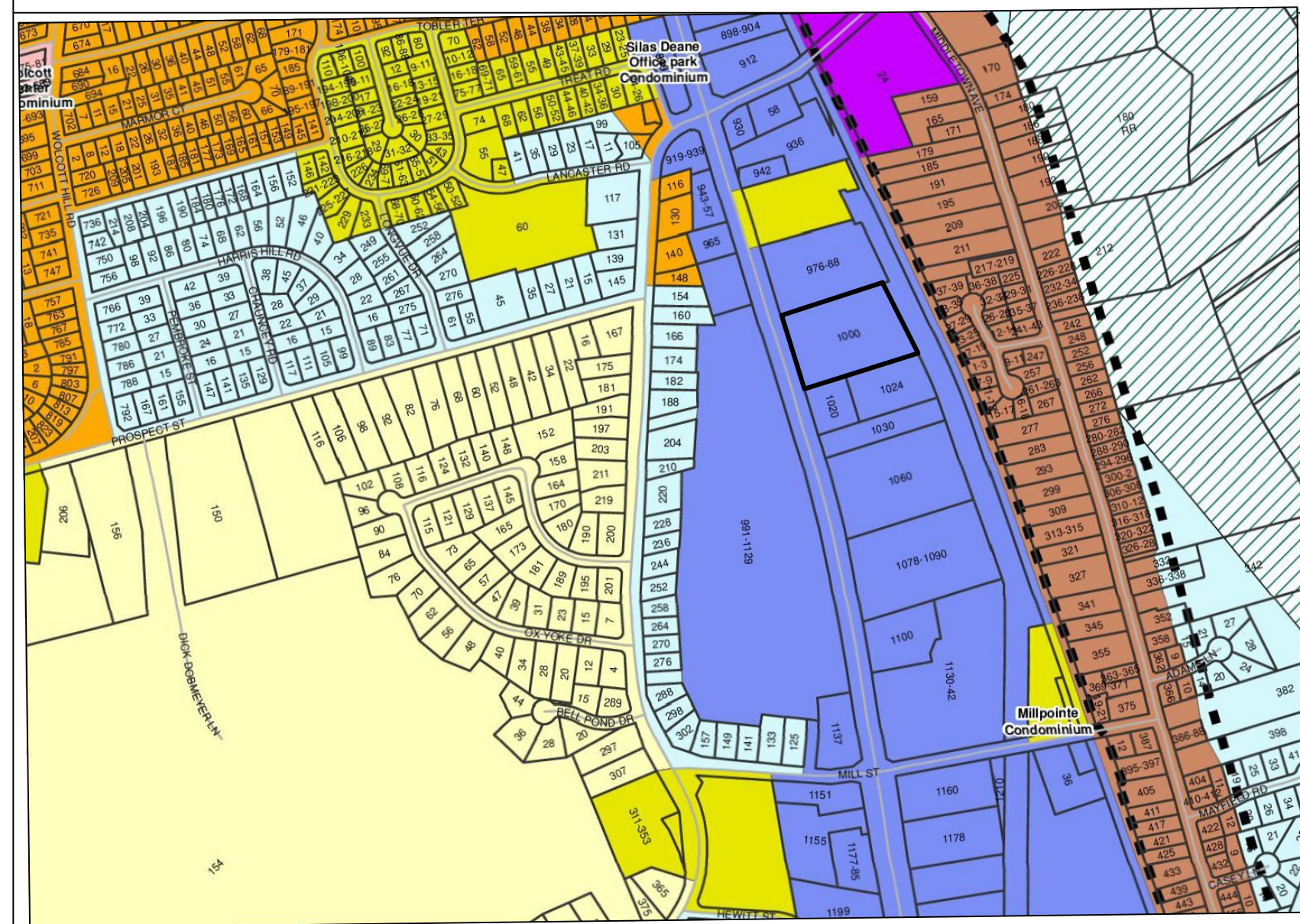
401.5 **MAXIMUM FLOOR AREA RATIOS**

LOT AREA = 152,895.6 S.F.(3.51 ACRES)  
 MAX. F.A.R. = 0.50 (50%)  
 MAX. ALLOWABLE FL. AREA = 152,895.6 S.F. X 0.50 = **76,447.8 S.F.**

TOTAL ZONING FLOOR AREA = 77,296 S.F. < 76,153.09 S.F. (COMPLIES)  
 TOTAL ZONING F.A.R. = 77,296 S.F. < 76,447.8 S.F. = **0.506 > 0.5** (COMPLIES)

2021 INTERNATIONAL BUILDING CODE (IBC) 506.1.3: BASEMENTS NEED NOT BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL AREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLANE BUILDING.

### ZONING MAP



**THIS SECTION IS VOID. REFER TO CIVIL ENGINEER WORK FOR SITE PLAN.**

## KEN FOODS SUPERMARKET

1000 SILAS DEANE HWY  
 WETHERSFIELD, CT 06109

### ARCHITECT:

XZ Architecture  
 29 Broadway #2400, New York, NY 10006  
 917 383 2345  
 szhang@xzarch.com  
 www.xzarch.com

### REVISIONS:

DESIGN DEVELOPMENT

Drawing Title:

CODE REVIEW SHEET

Date: 07-30-2025  
 Scale: AS NOTED  
 Drawing No.:

**G-002.00**

SHEET 2 OF 31

**KEN FOODS  
SUPERMARKET**

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

ARCHITECT:

XZ Architecture  
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REVISIONS:

**DESIGN  
DEVELOPMENT**

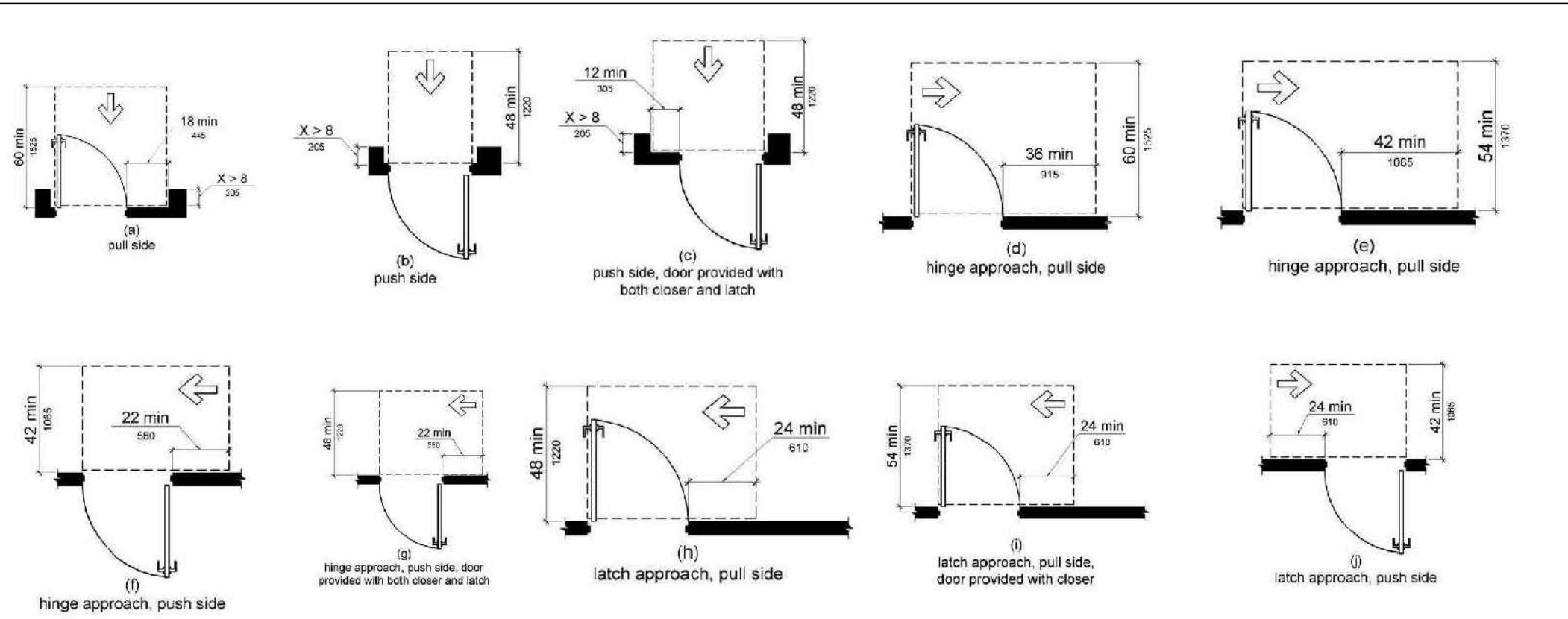
Drawing Title:

**ADA DIAGRAMS & NOTES**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**G-003.00**

SHEET 3 OF 31

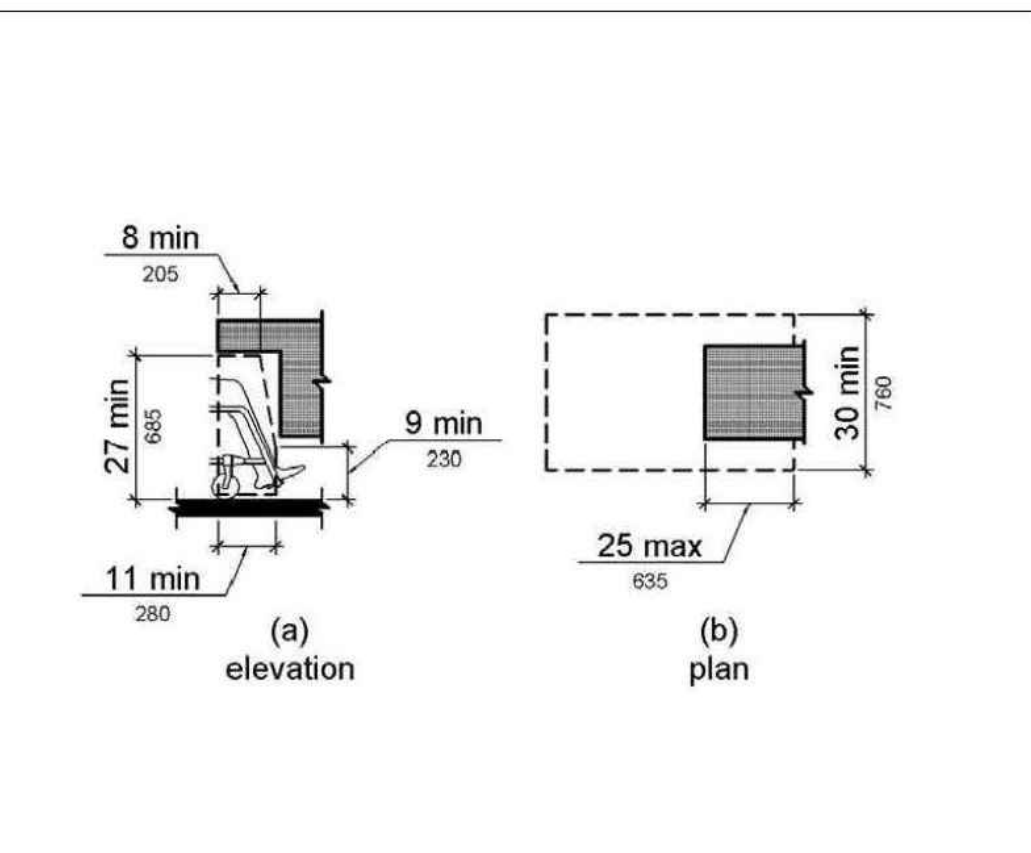


① Maneuvering Clearances at Recessed Doors and Gates

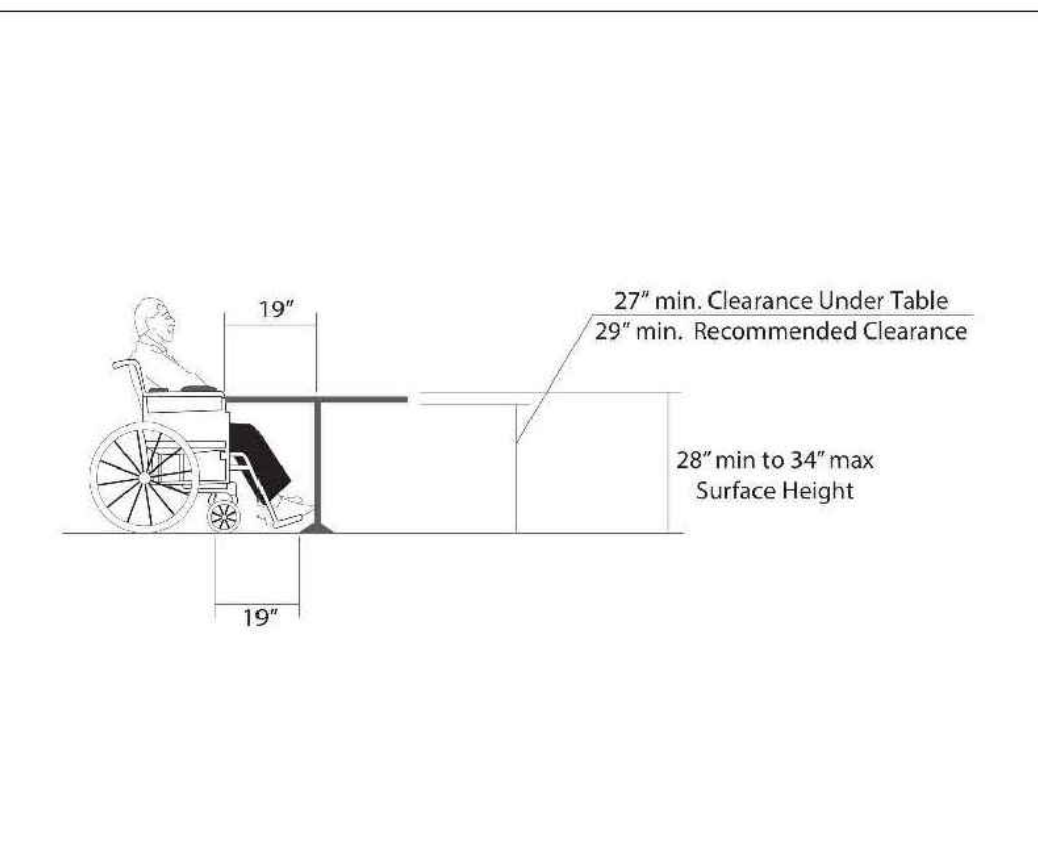
② Clear Width of Doorways

③ Doors in Series and Gates in Series

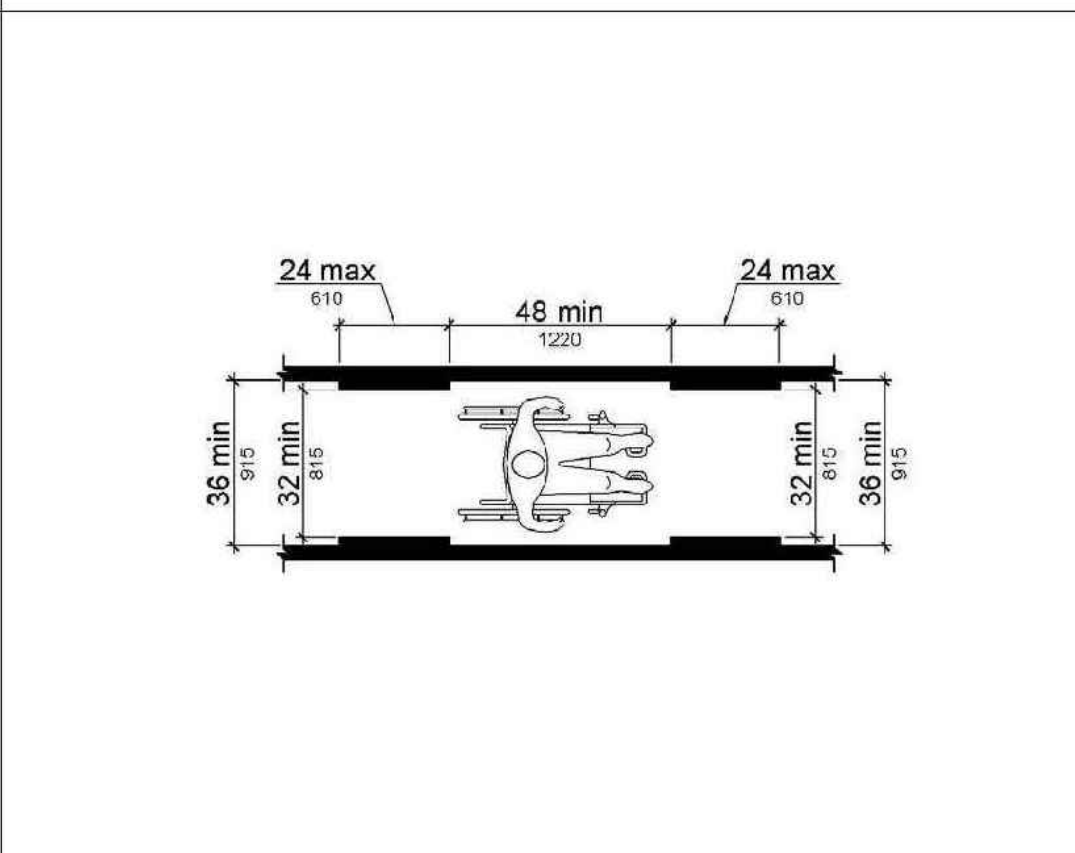
④ Size of Clearance at Water Closets



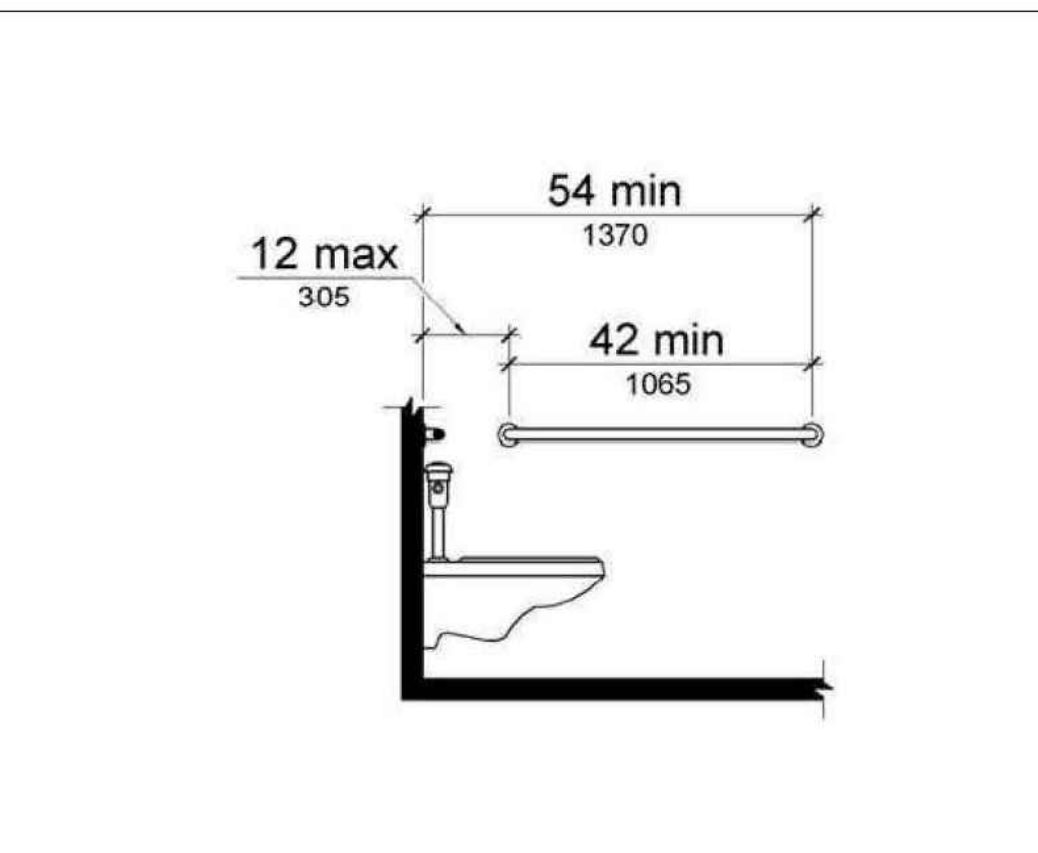
⑤ Knee Clearance



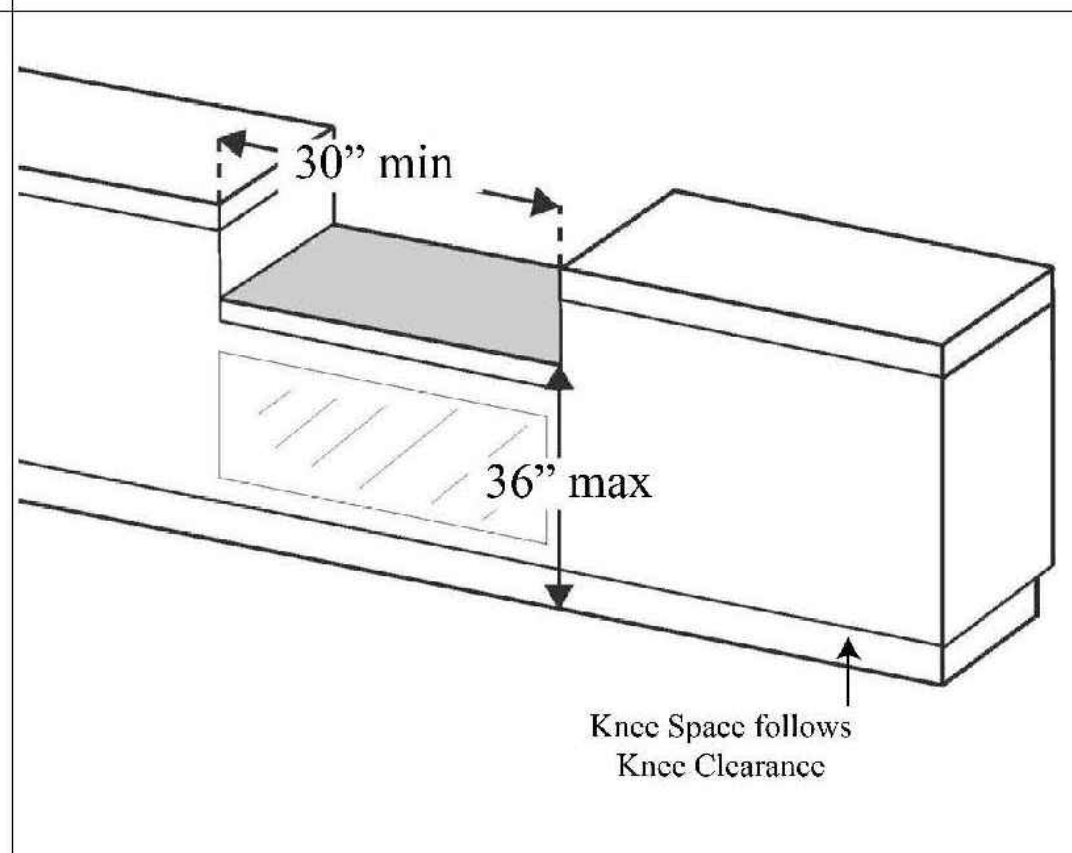
⑥ Table Seating Requirement



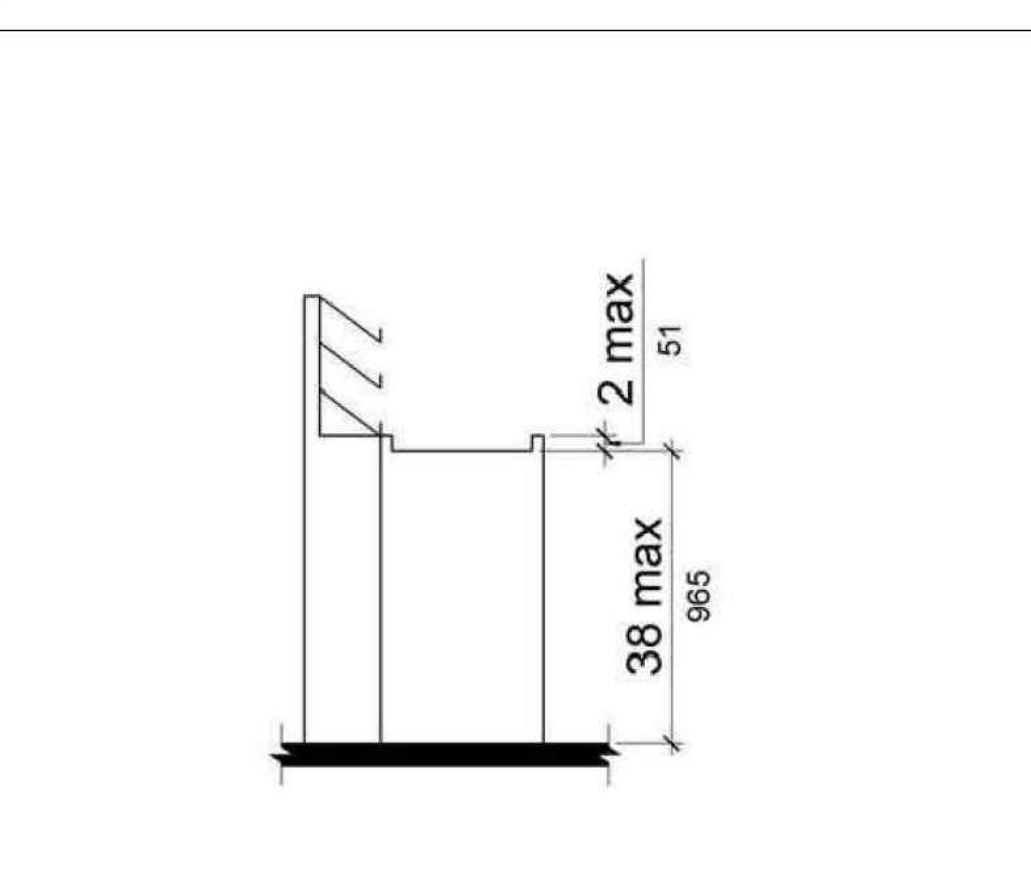
⑦ Clear Width of an Accessible Route



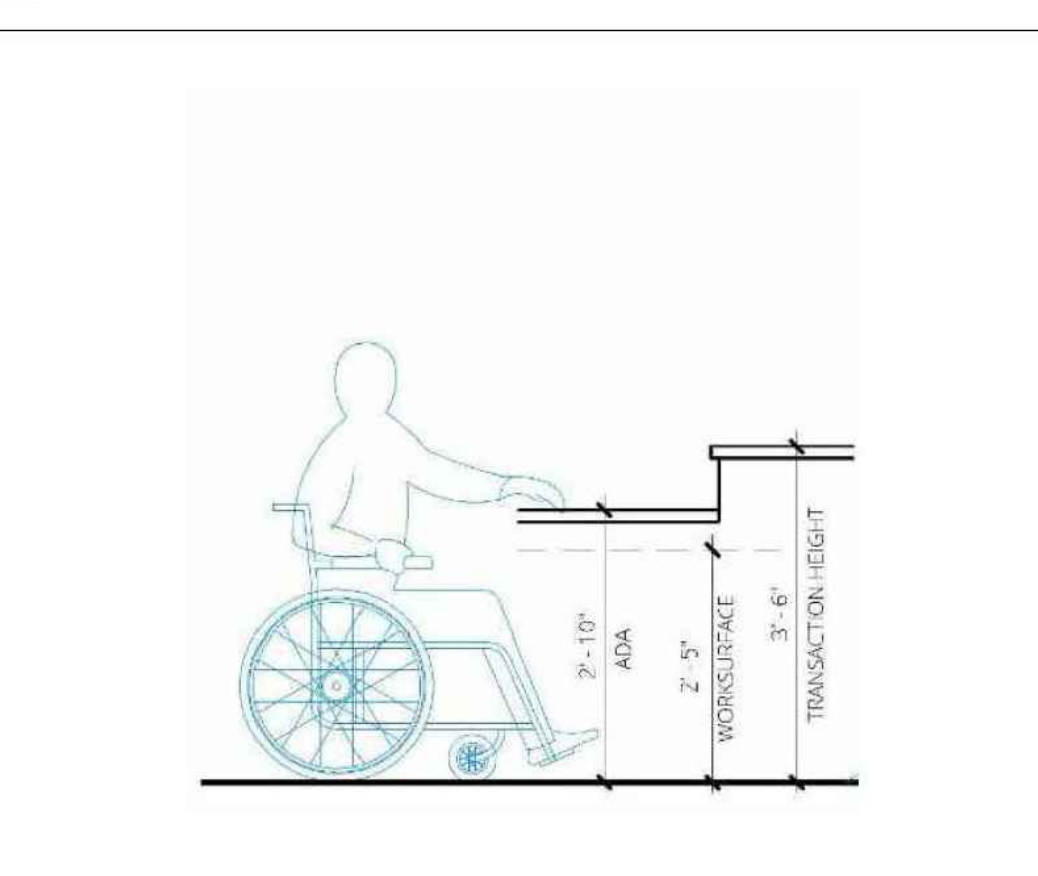
⑧ Side Wall Grab Bar at Water Closets



⑨ Cash Register - Forward Approach



⑩ Check-Out Aisle Counters



⑪ Reception Desk



⑫ ADA Seat Logo - 1.25" Diameter



**KEN FOODS  
SUPERMARKET**

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

ARCHITECT:  
XZ Architecture  
29 Broadway #2400, New York, NY 10006  
917 383 2345  
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www.xzarch.com

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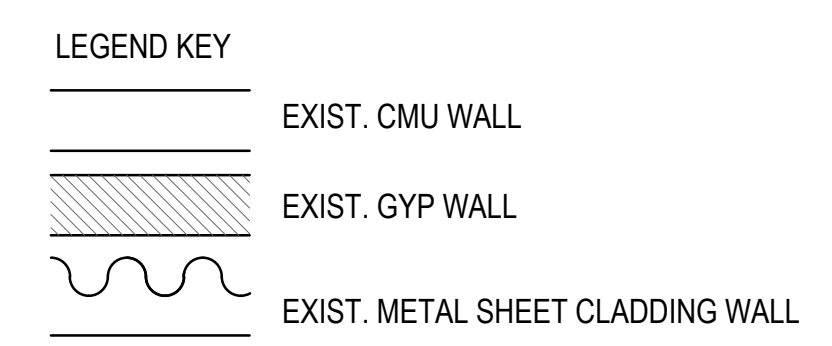
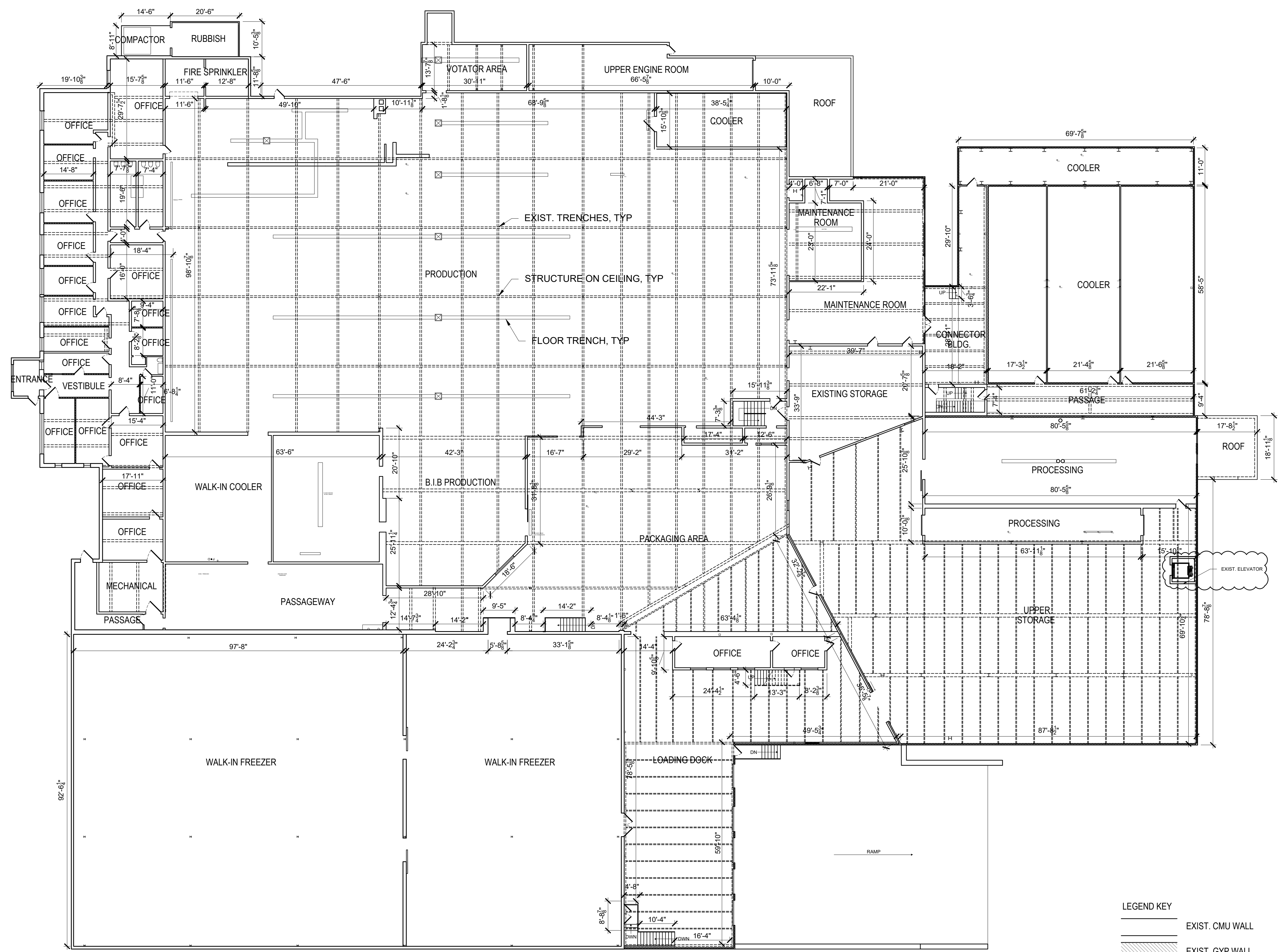
**DESIGN  
DEVELOPMENT**

Drawing Title:  
**UPPER LEVEL EXIST.  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-102.00**

SHEET 5 OF 31



1 EXISTING UPPER LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

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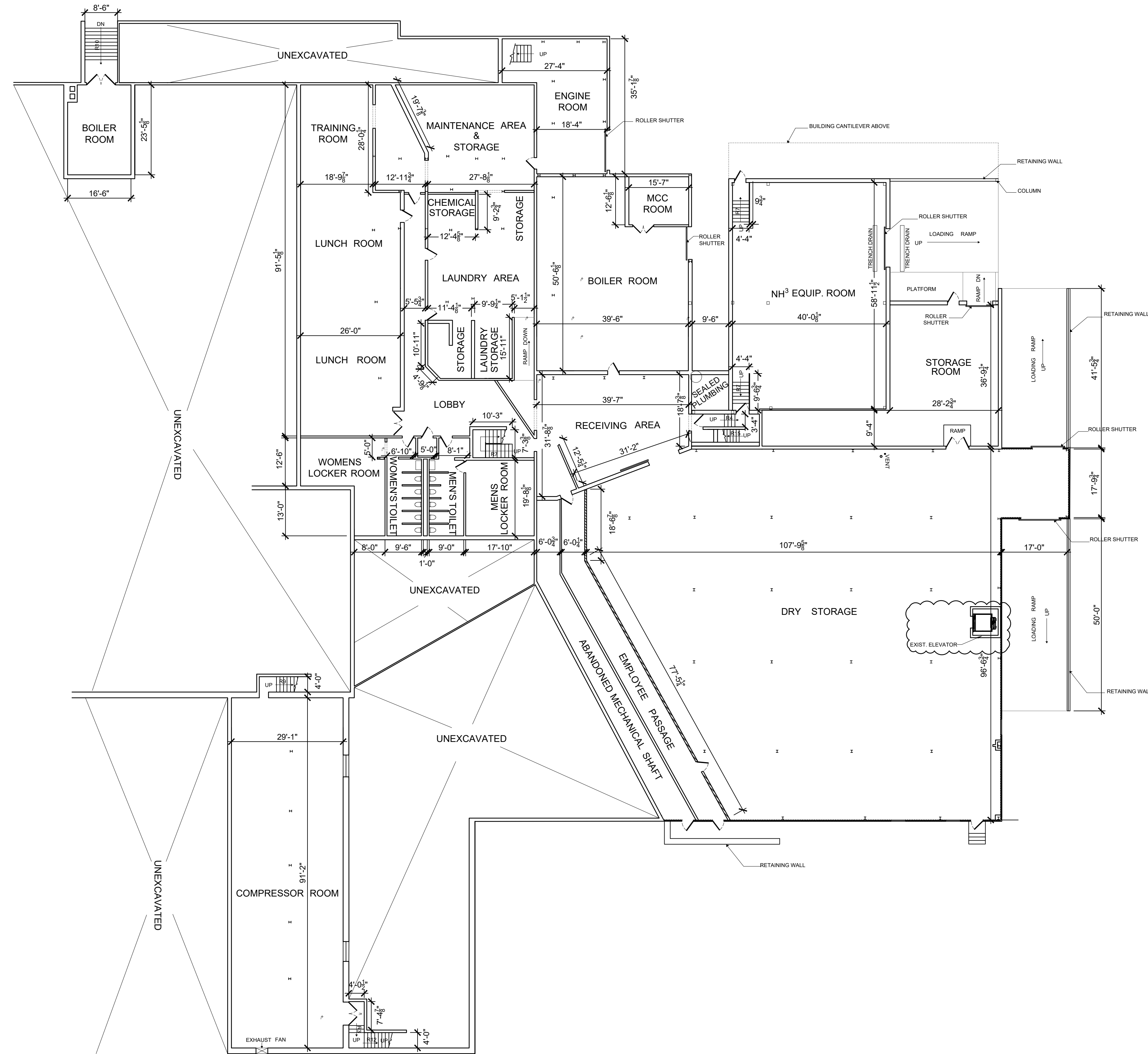
Drawing Title:

**LOWER LEVEL EXIST.  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-103.00**

SHEET 6 OF 31



LEGEND KEY

- EXIST. CMU WALL
- ▨ EXIST. GYP WALL
- ~ EXIST. METAL SHEET CLADDING WALL

1 EXISTING LOWER LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

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DEVELOPMENT**

Drawing Title:

**UPPER LEVEL DEMOLITION  
PLAN**

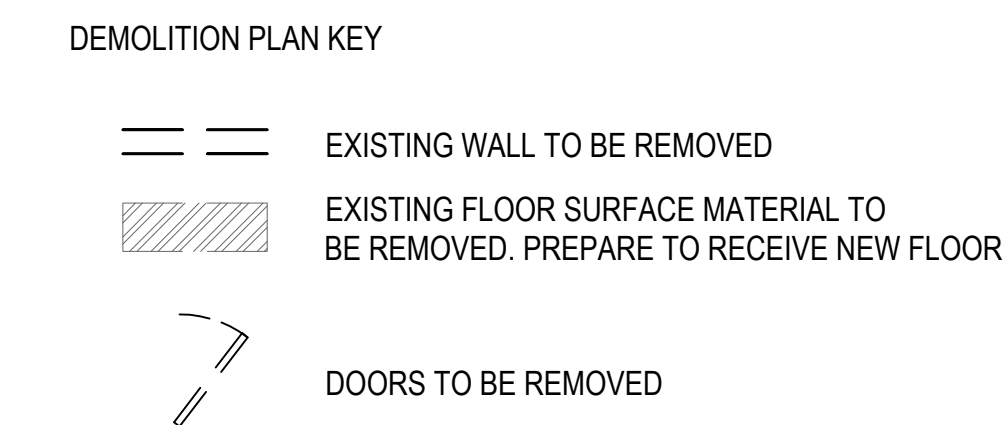
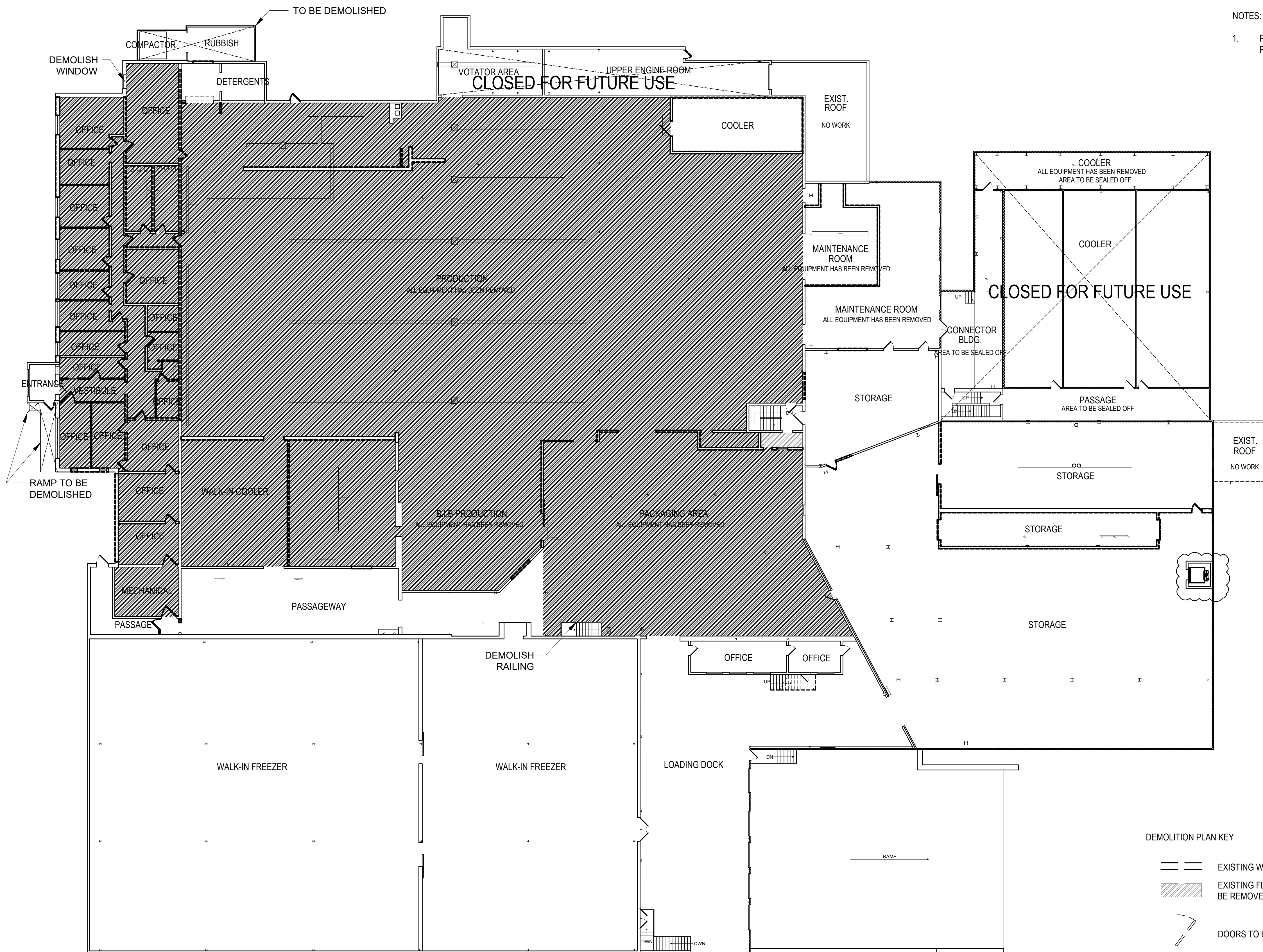
Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-104.00**

SHEET 7 OF 31

NOTES:

1. REMOVE ALL EXIST. SKYLIGHTS ON THE ROOF & PATCH ROOFING.



1 DEMOLITION PLAN - UPPER LEVEL

SCALE 1/8" = 1'-0"

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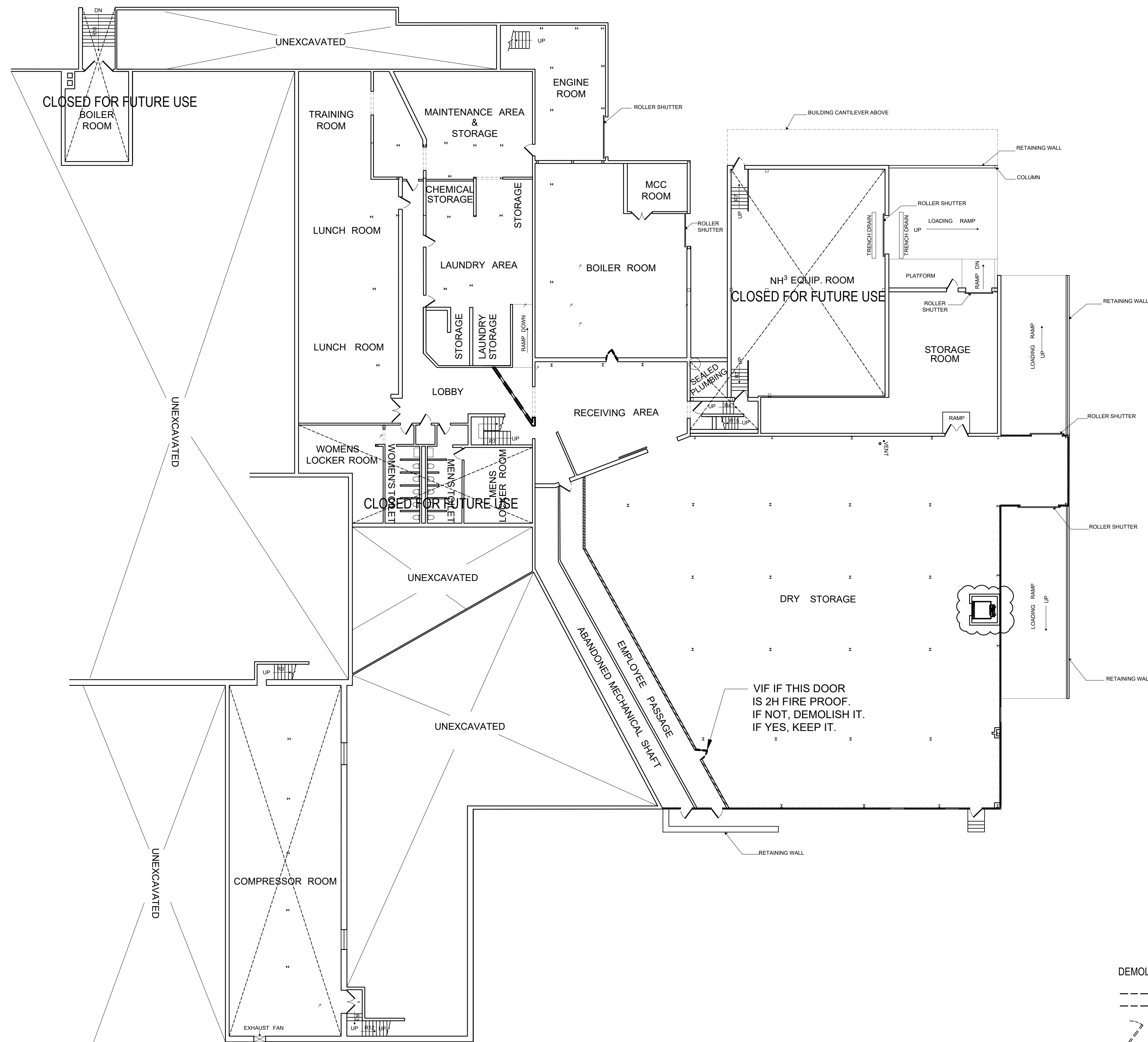
Drawing Title:

**LOWER LEVEL  
DEMOLITION PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-105.00**

SHEET 8 OF 31



DEMOLITION PLAN KEY

- EXIST. WALL TO BE REMOVED
- - - DOORS TO BE REMOVED

1 LOWER LEVEL DEMOLITION PLAN

SCALE 1/16" = 1'-0"

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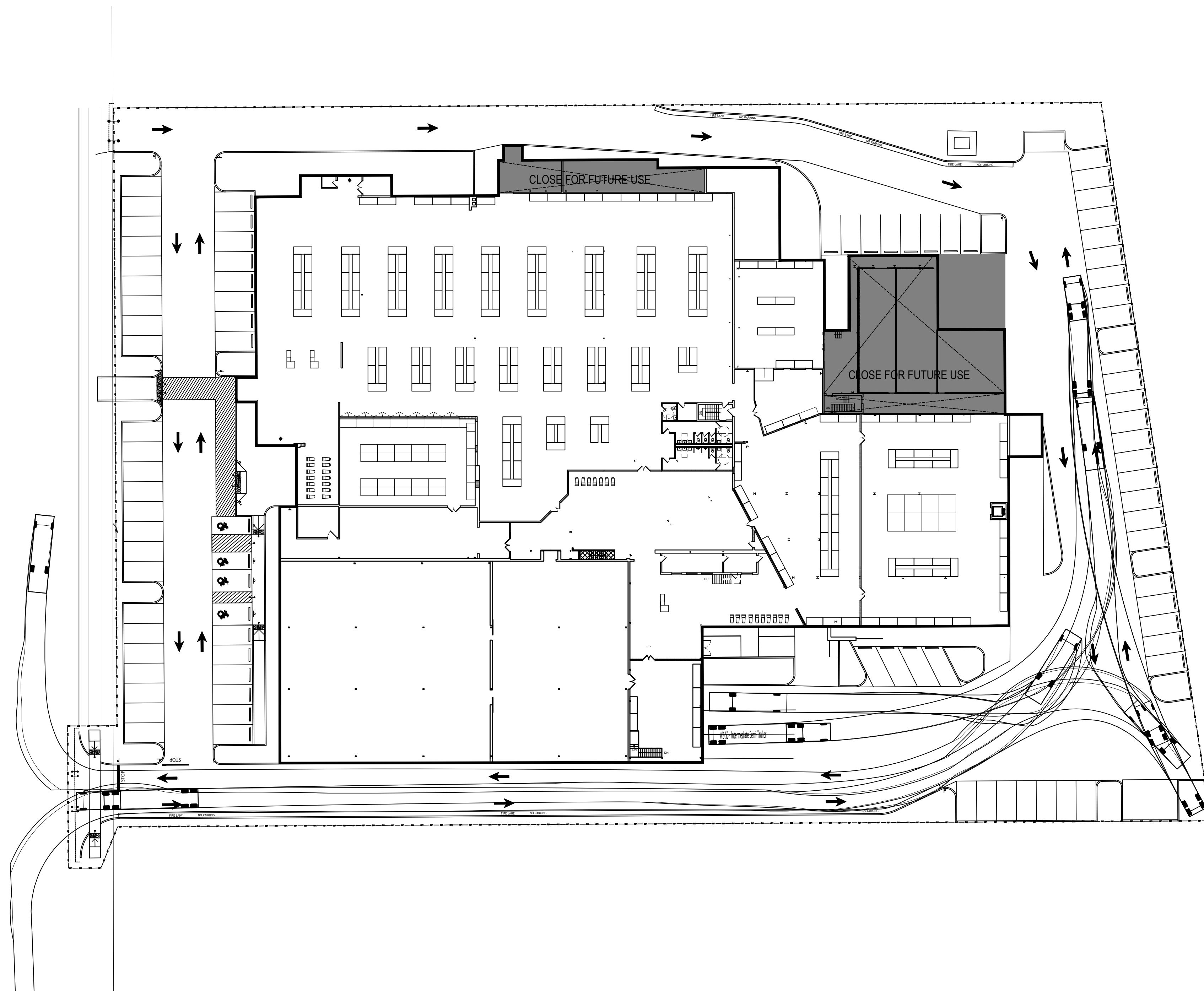
Drawing Title:

**PROPOSED SITE PLAN**

1 PROPOSED SITE PLAN

THIS PLAN IS FOR REFERENCE ONLY. PLEASE REFER TO CIVIL ENGINEER'S DESIGN.

SCALE 1/32" = 1'-0"



Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-106.00**

SHEET 9 OF 31

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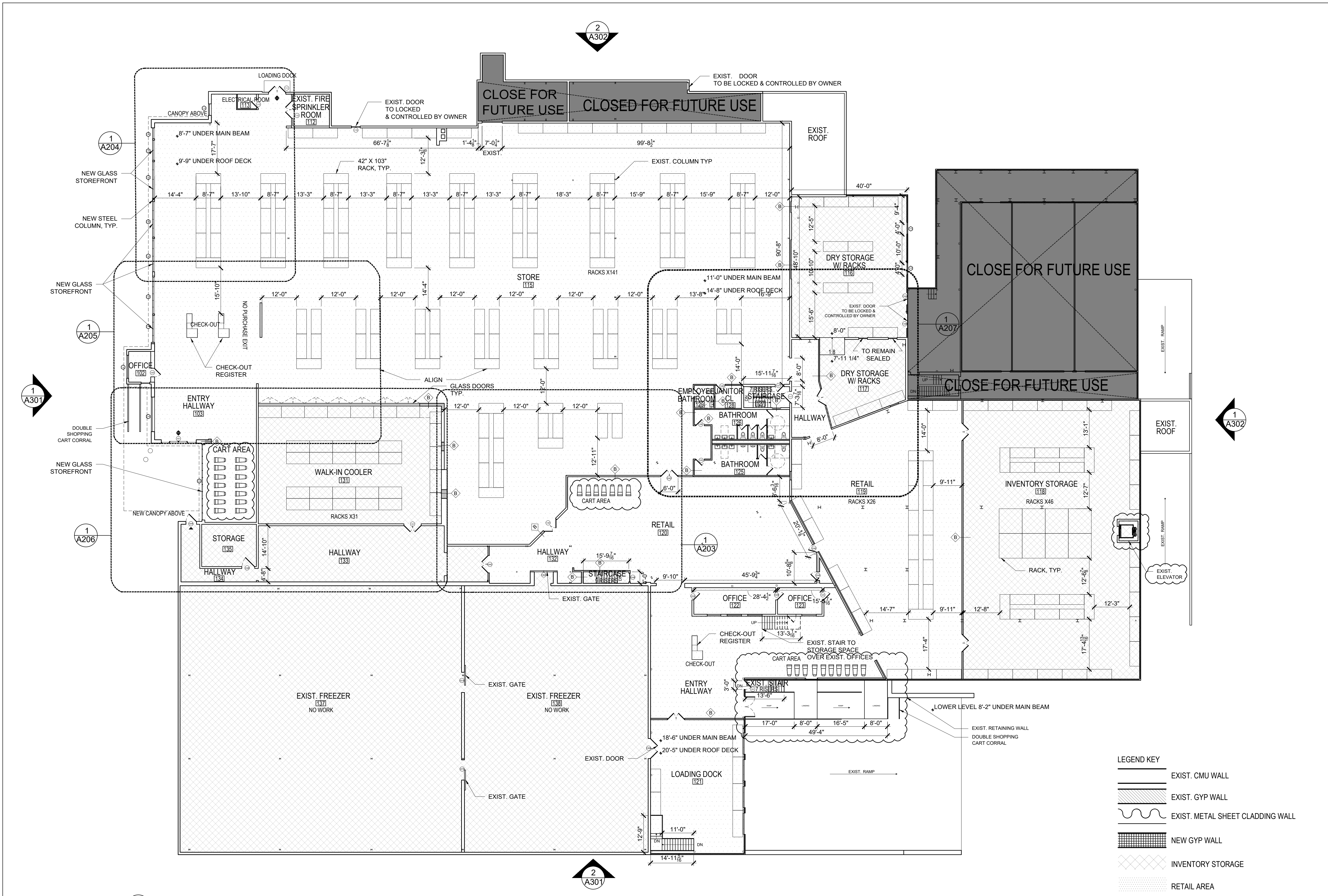
Drawing Title:

**UPPER LEVEL PROPOSED  
PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-201.00**

SHEET 10 OF 31



1 UPPER LEVEL PROPOSED PLAN

SALES FLOOR: 39,028 SF  
INVENTORY STORAGE: 14,831 SF

SCALE 1/16" = 1'-0"

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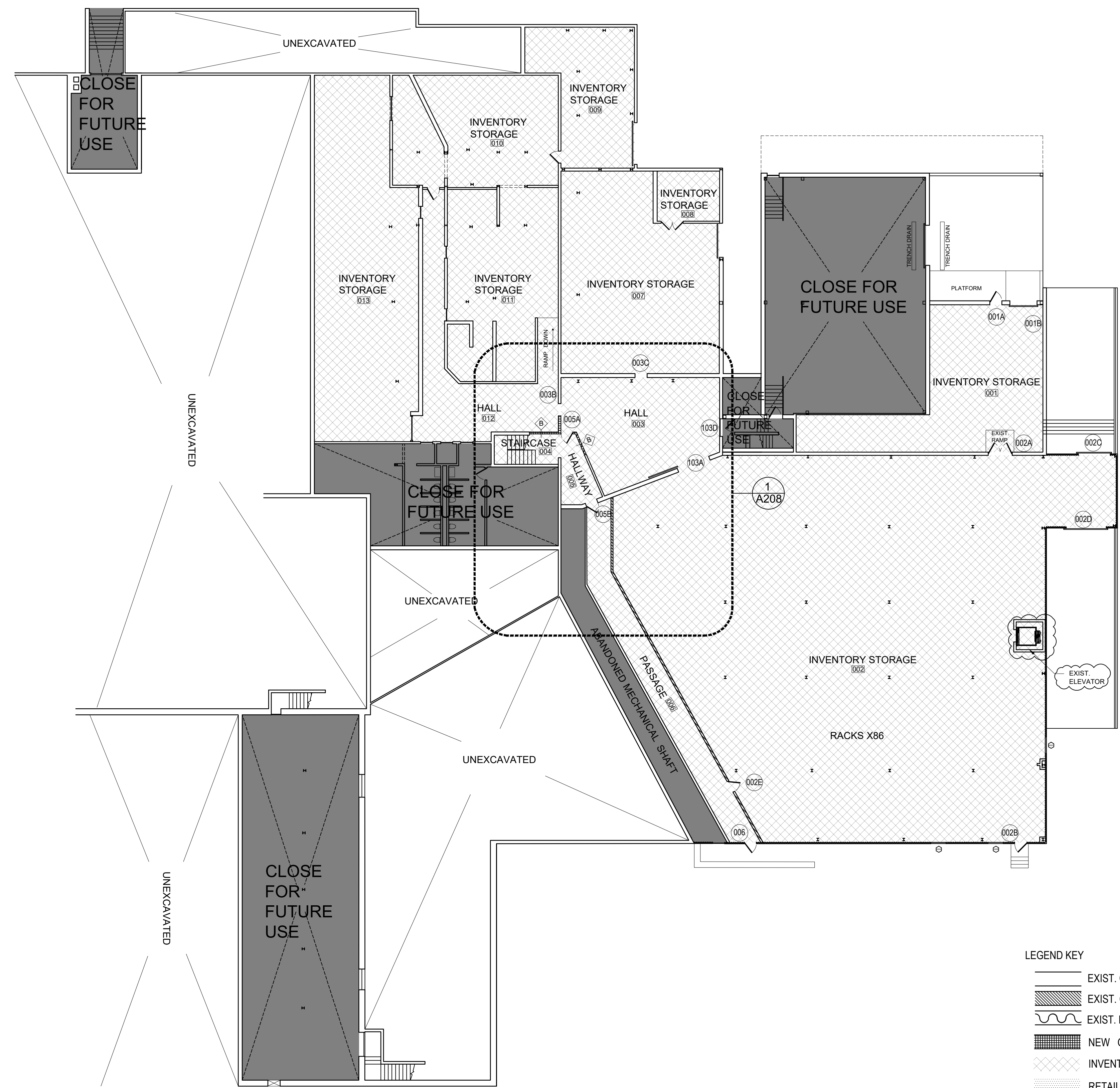
**DESIGN  
DEVELOPMENT**

Drawing Title:  
**LOWER LEVEL PROPOSED  
PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-202.00**

SHEET 11 OF 31



- LEGEND KEY
- EXIST. CMU WALL
  - EXIST. GYP WALL
  - EXIST. METAL SHEET CLADDING WALL
  - NEW GYP WALL
  - INVENTORY STORAGE
  - RETAIL AREA

1 LOWER LEVEL PROPOSED PLAN

INVENTORY STORAGE : 20,704 SF

SCALE 1/16" = 1'-0"

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SUPERMARKET**

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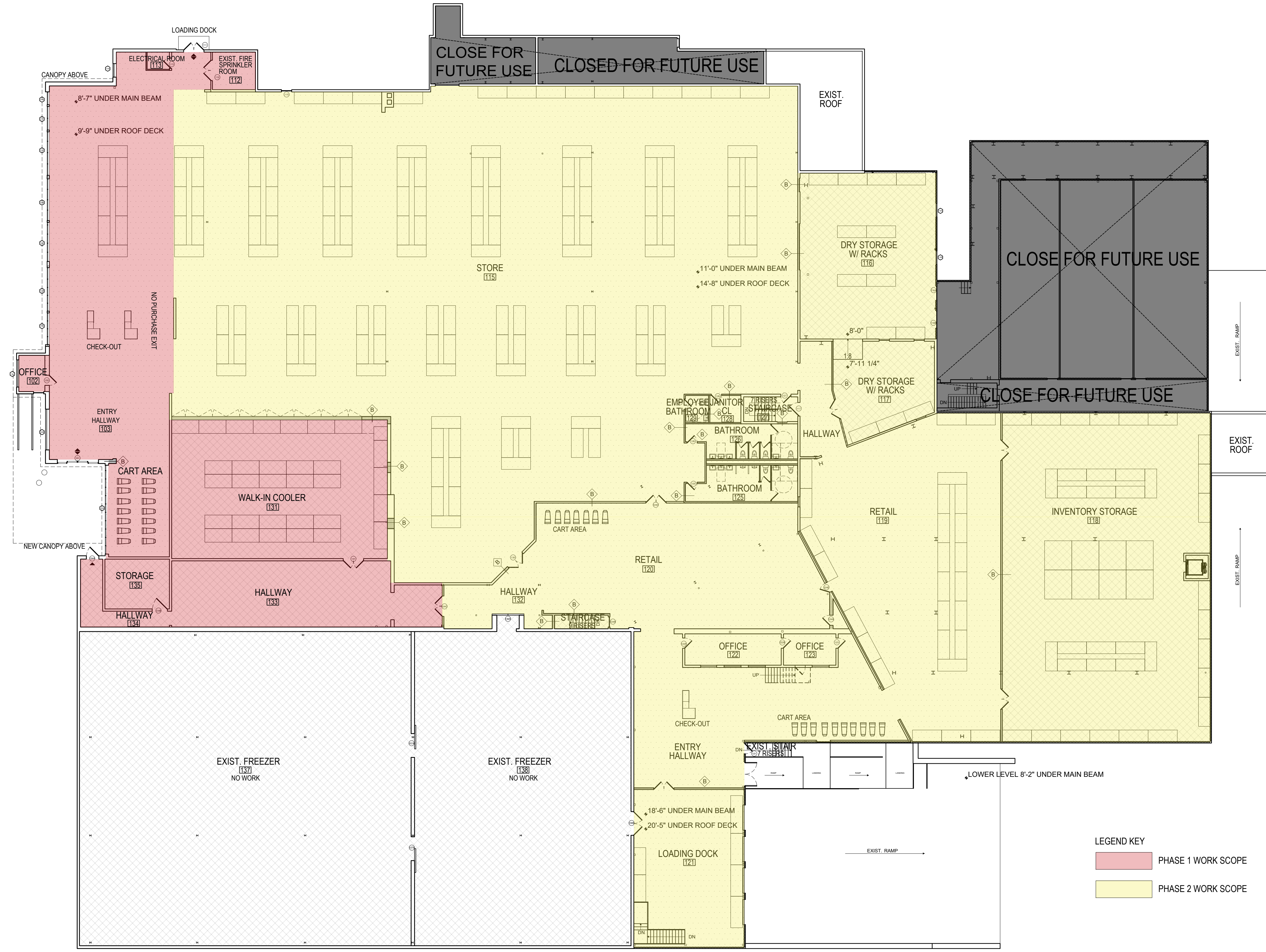
**DESIGN  
DEVELOPMENT**

Drawing Title:  
**UPPER LEVEL PROPOSED  
PHASING PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-203.00**

SHEET 12 OF 31



LEGEND KEY  
 PHASE 1 WORK SCOPE  
 PHASE 2 WORK SCOPE

1 UPPER LEVEL PROPOSED PHASING PLAN

SCALE 1/16" = 1'-0"

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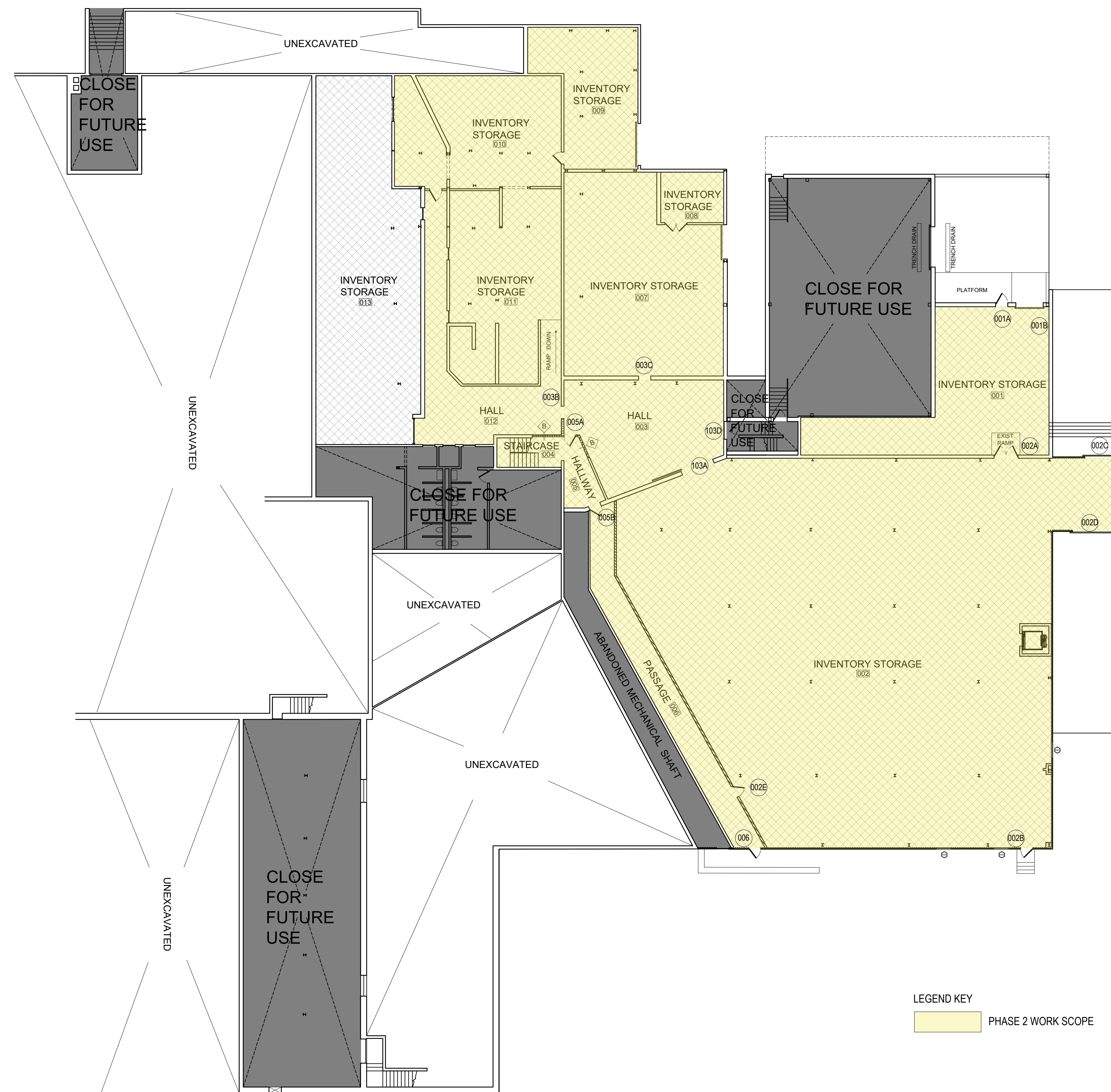
Drawing Title:

**LOWER LEVEL PROPOSED  
PHASING PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-204.00**

SHEET 13 OF 31



1 LOWER LEVEL PROPOSED PHASING PLAN

SCALE 1/16" = 1'-0"

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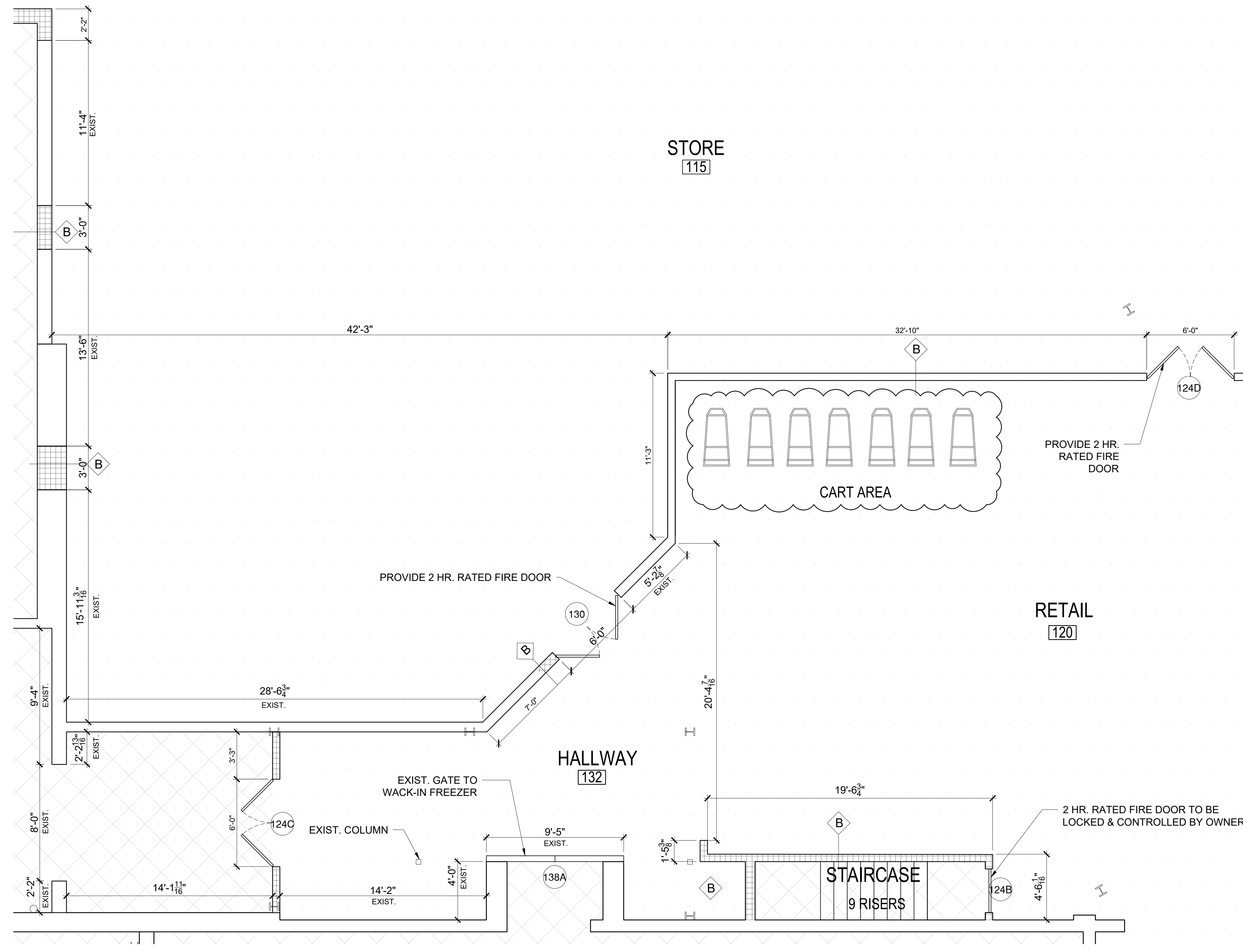
Drawing Title:

**UPPER LEVEL ENLARGED  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-205.00**

SHEET 14 OF 31



1 UPPER LEVEL ENLARGED PROPOSED PLAN

SCALE 1/4" = 1'-0"

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DEVELOPMENT**

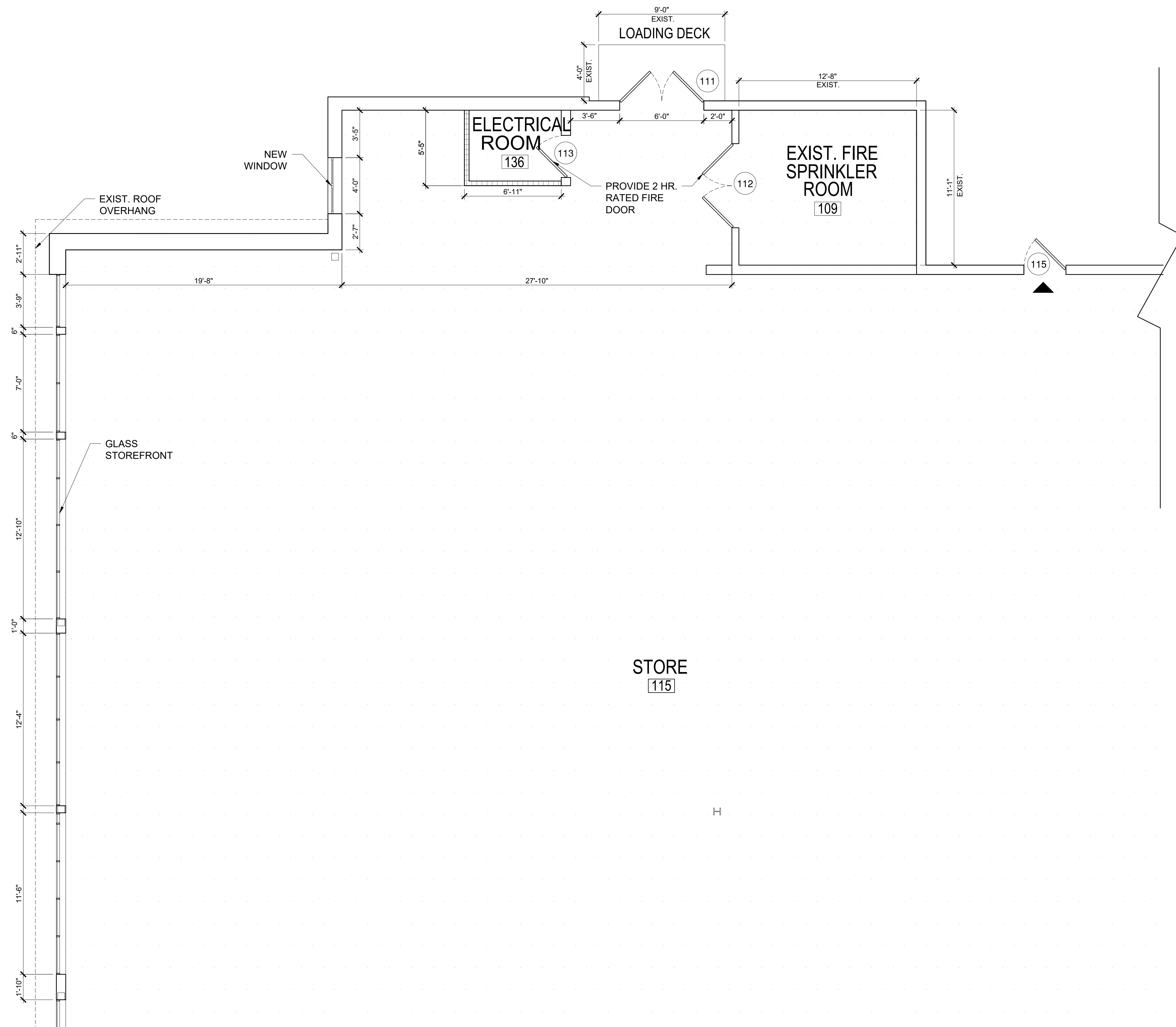
Drawing Title:

**UPPER LEVEL ENLARGED  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-206.00**

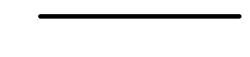


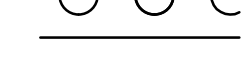


SHEET 15 OF 31



1 UPPER LEVEL ENLARGED PROPOSED PLAN

SCALE 1/4" = 1'-0"

LEGEND KEY

-  EXIST. CMU WALL
-  EXIST. GYP WALL
-  EXIST. METAL SHEET CLADDING WALL
-  NEW GYP WALL
-  INVENTORY STORAGE
-  RETAIL AREA

**KEN FOODS  
SUPERMARKET**

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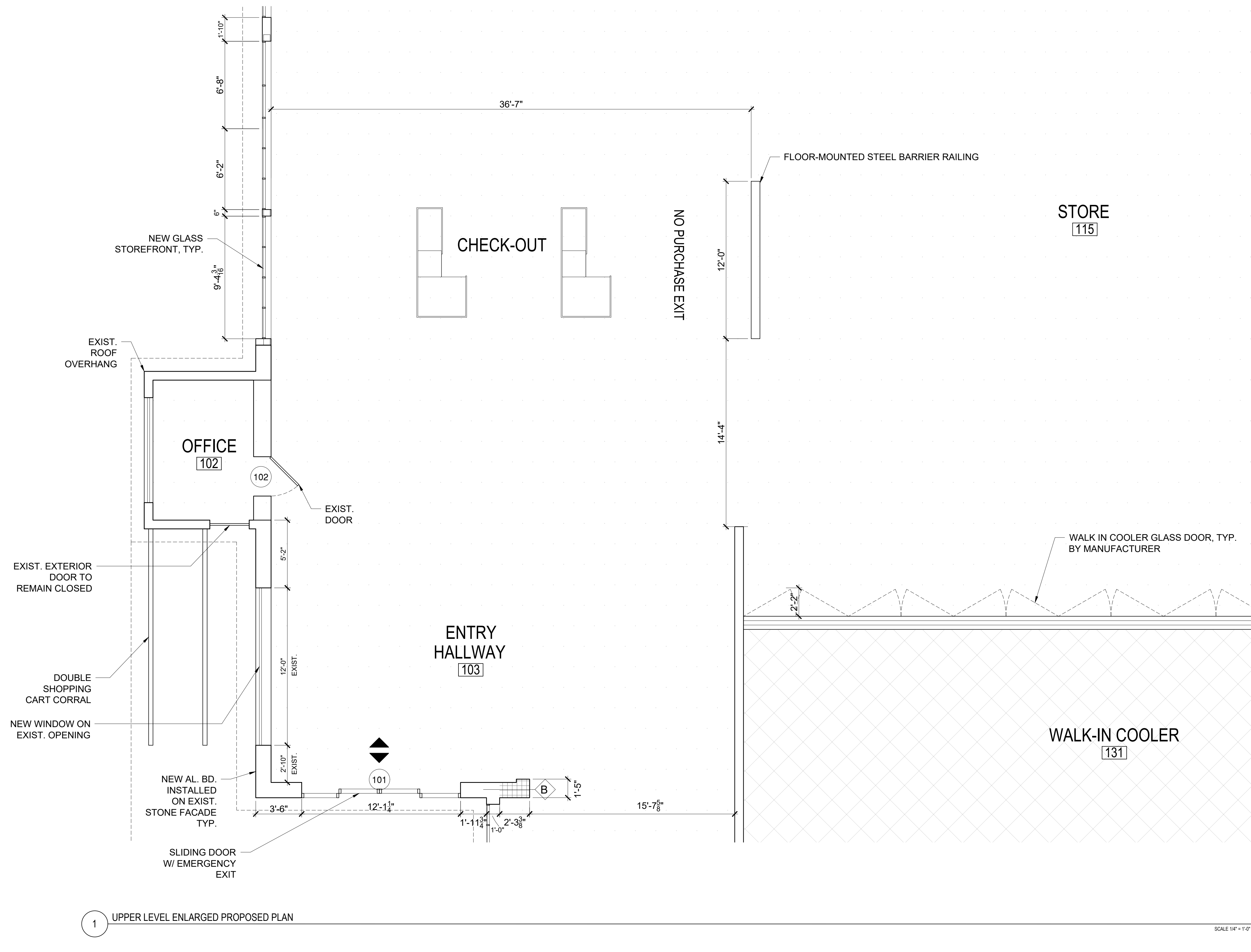
Drawing Title:

**UPPER LEVEL ENLARGED  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-207.00**

SHEET 16 OF 31



NEW GLASS  
STOREFRONT, TYP.

EXIST.  
ROOF  
OVERHANG

OFFICE  
102

EXIST.  
DOOR

EXIST. EXTERIOR  
DOOR TO  
REMAIN CLOSED

DOUBLE  
SHOPPING  
CART CORRAL

NEW WINDOW ON  
EXIST. OPENING

NEW AL. BD.  
INSTALLED  
ON EXIST.  
STONE FACADE  
TYP.

SLIDING DOOR  
W/ EMERGENCY  
EXIT

ENTRY  
HALLWAY  
103

101

B

WALK-IN COOLER  
131

WALK IN COOLER GLASS DOOR, TYP.  
BY MANUFACTURER

STORE  
115

FLOOR-MOUNTED STEEL BARRIER RAILING

NO PURCHASE EXIT

CHECK-OUT

1'-10"

6'-8"

6'-2"

6"

9'-4 3/8"

36'-7"

12'-0"

14'-4"

2'-2"

102

5'-2"

12'-0"  
EXIST.

2'-10"  
EXIST.

3'-6"

12'-1 1/4"

1'-11 3/4"

1'-0"

2'-3 3/8"

15'-7 8/8"

SCALE 1/4" = 1'-0"

**KEN FOODS  
SUPERMARKET**

1000 SILAS DEANE HWY  
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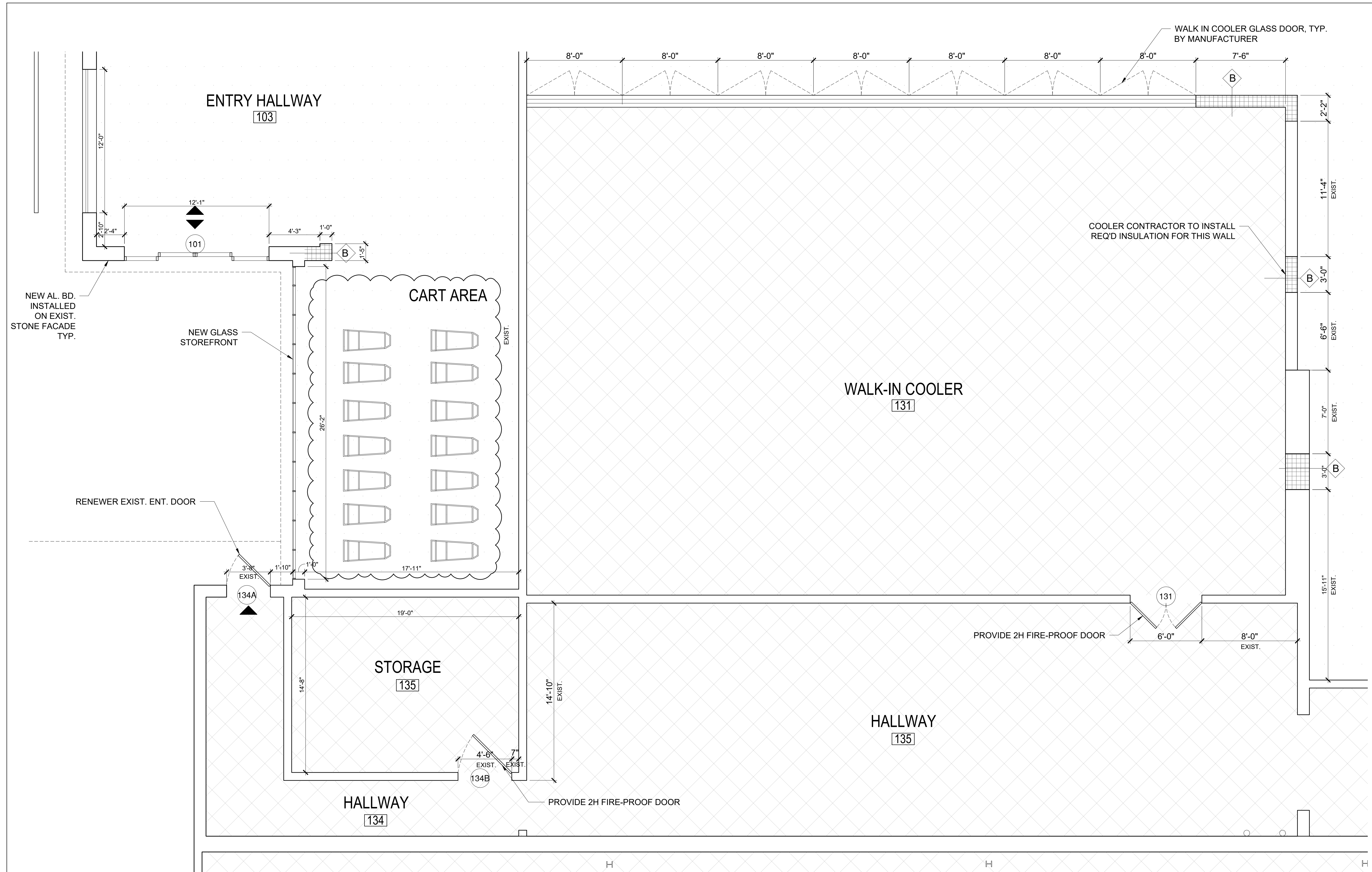
**DESIGN  
DEVELOPMENT**

Drawing Title:  
**UPPER LEVEL ENLARGED  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-208.00**

SHEET 17 OF 31



1 UPPER LEVEL ENLARGED PROPOSED PLAN

SCALE 1/4" = 1'-0"

- LEGEND KEY**
- EXIST. CMU WALL
  - EXIST. GYP WALL
  - EXIST. METAL SHEET CLADDING WALL
  - NEW GYP WALL
  - INVENTORY STORAGE
  - RETAIL AREA

**KEN FOODS  
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1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

ARCHITECT:

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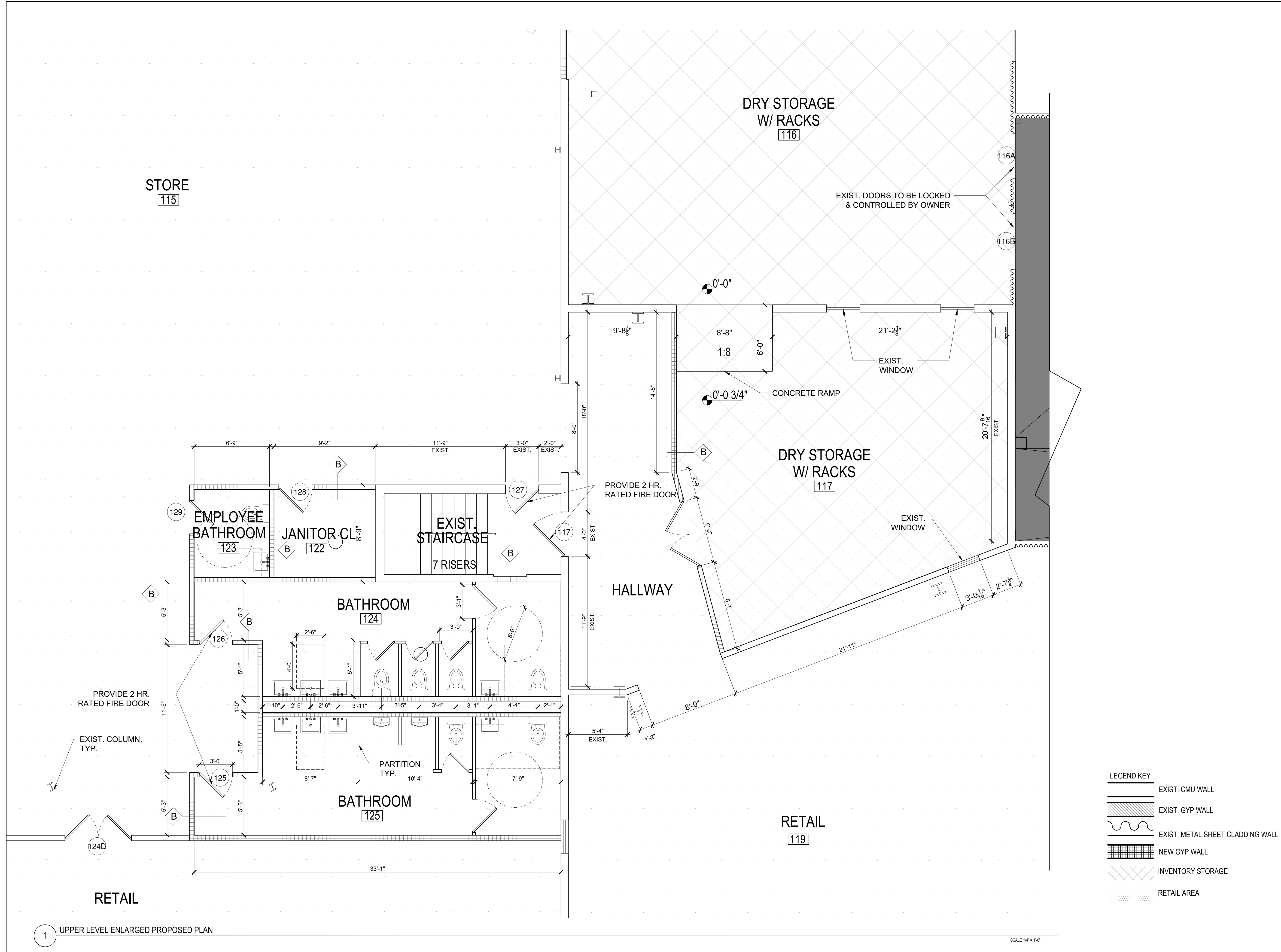
Drawing Title:

**UPPER LEVEL ENLARGED  
FLOOR PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-209.00**

SHEET 18 OF 31



1 UPPER LEVEL ENLARGED PROPOSED PLAN

SCALE 1/4" = 1'-0"

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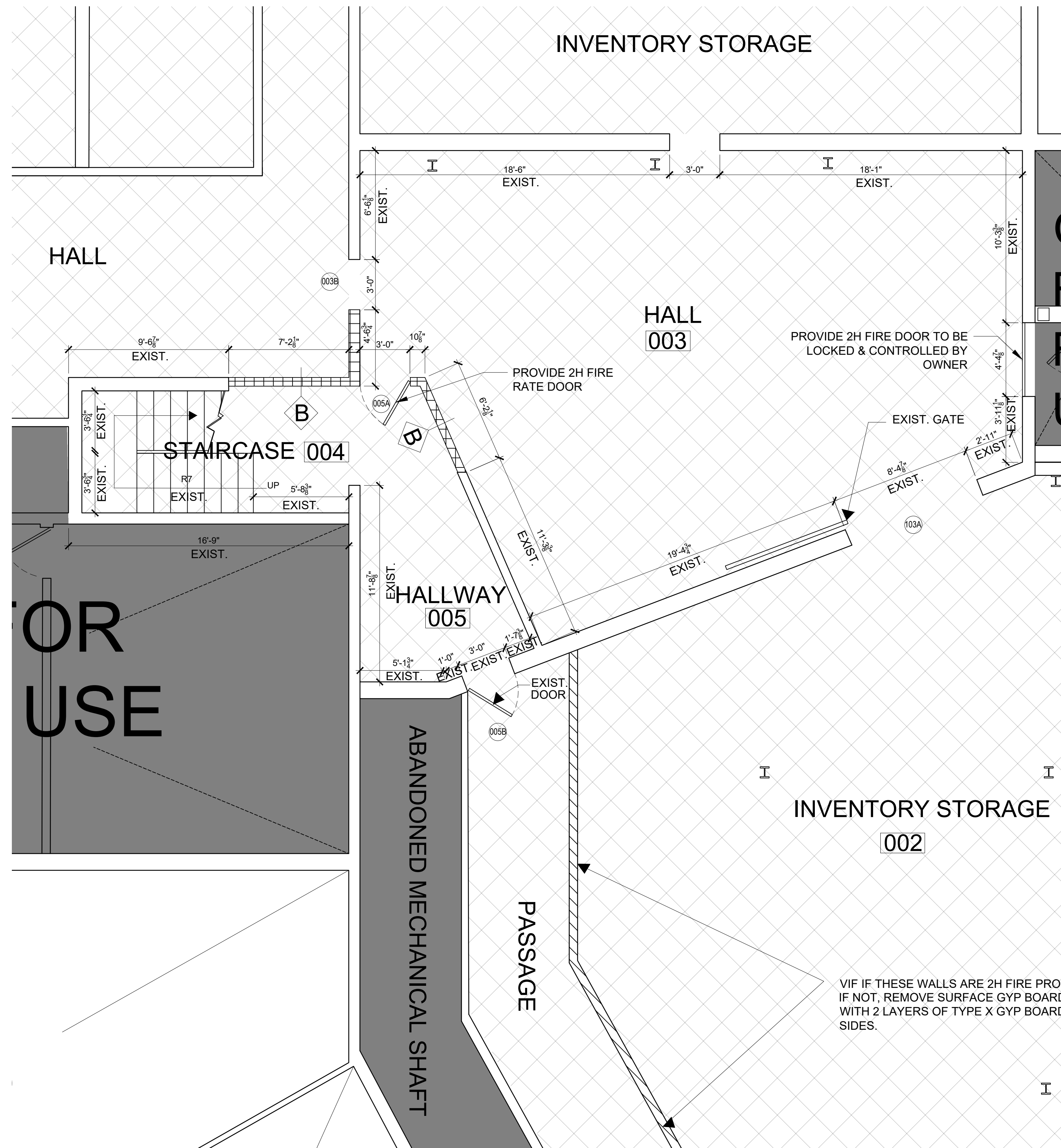
Drawing Title:

**LOWER LEVEL ENLARGED  
PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-210.00**

SHEET 19 OF 31



LEGEND KEY

- EXIST. CMU WALL
- EXIST. GYP WALL
- EXIST. METAL SHEET CLADDING WALL
- NEW GYP WALL
- INVENTORY STORAGE
- RETAIL AREA

SCALE 1/4" = 1'-0"

1 LOWER LEVEL ENLARGED PLAN

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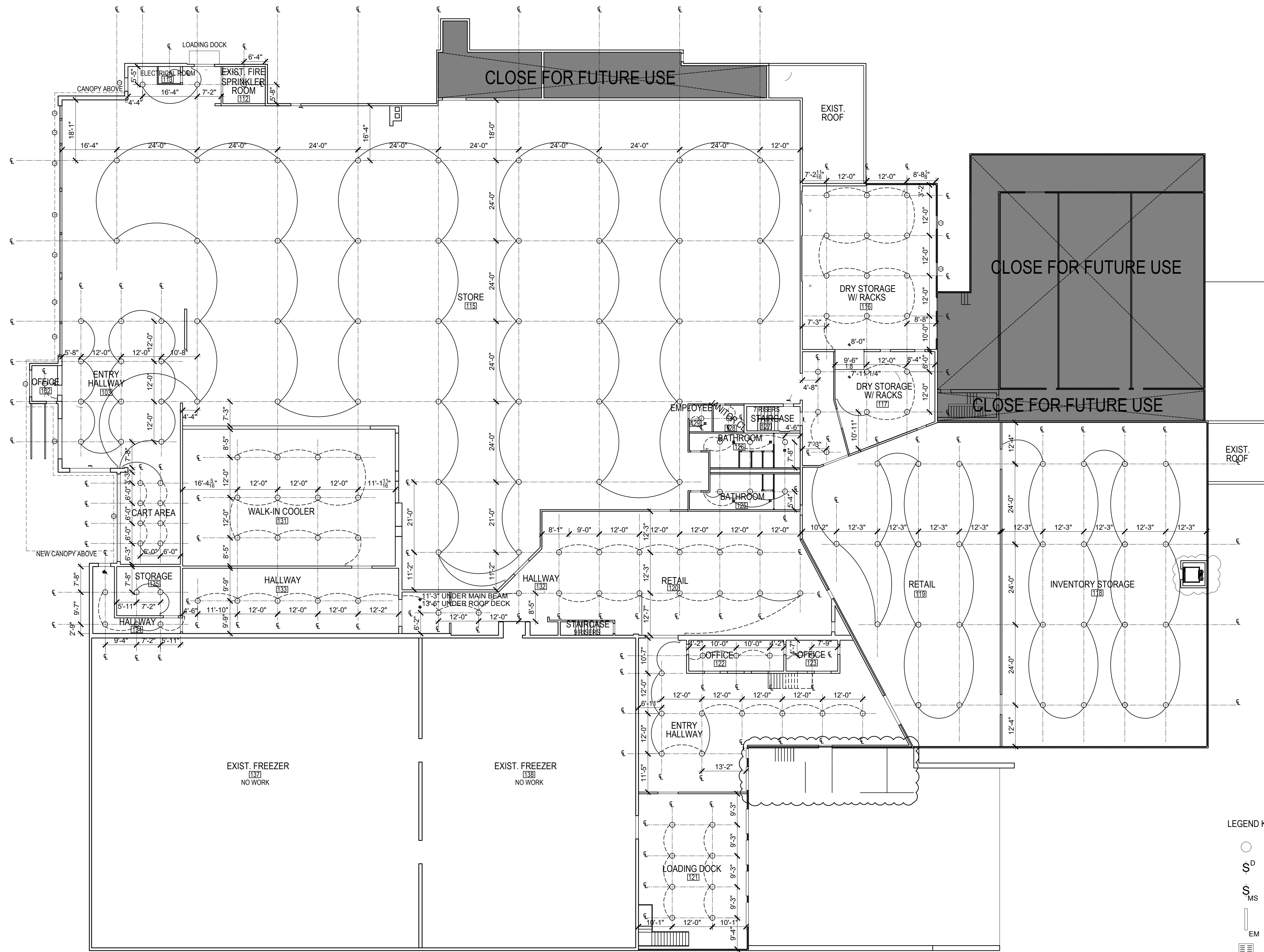
Drawing Title:

**UPPER LEVEL REFLECTED  
CEILING PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-211.00**

SHEET 20 OF 31



- LEGEND KEY
- CEILING LIGHT
  - S<sup>D</sup> SWITCH W/DIMMER
  - S<sub>MS</sub> SWITCH W/ MOTION SENSOR
  - EM EMERGENCY EXIT SIGN
  - ☰ CEILING FAN
  - ☪ EMERGENCY LIGHTING, 75" AFF

1 UPPER LEVEL PROPOSED PLAN

SCALE 1/16" = 1'-0"

**KEN FOODS  
SUPERMARKET**

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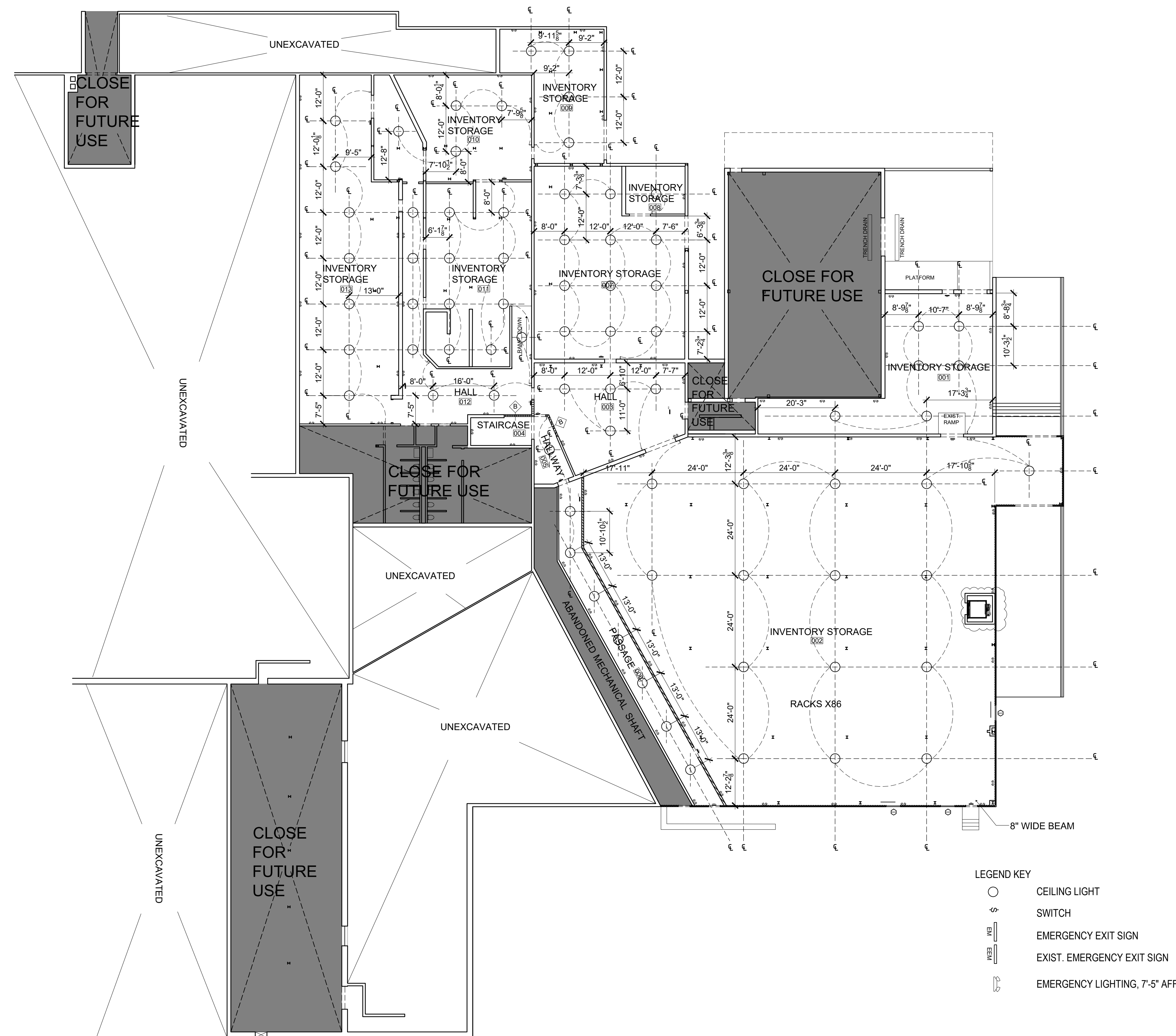
**DESIGN  
DEVELOPMENT**

Drawing Title:  
**LOWER LEVEL REFLECTED  
CEILING PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-212.00**

SHEET 21OF 31



- LEGEND KEY
- CEILING LIGHT
  - ⌘ SWITCH
  - ⌘ EMERGENCY EXIT SIGN
  - ⌘ EXIST. EMERGENCY EXIT SIGN
  - ⌘ EMERGENCY LIGHTING, 7'-5" AFF

1 LOWER LEVEL REFLECTED CEILING PLAN

SCALE 1/16" = 1'-0"

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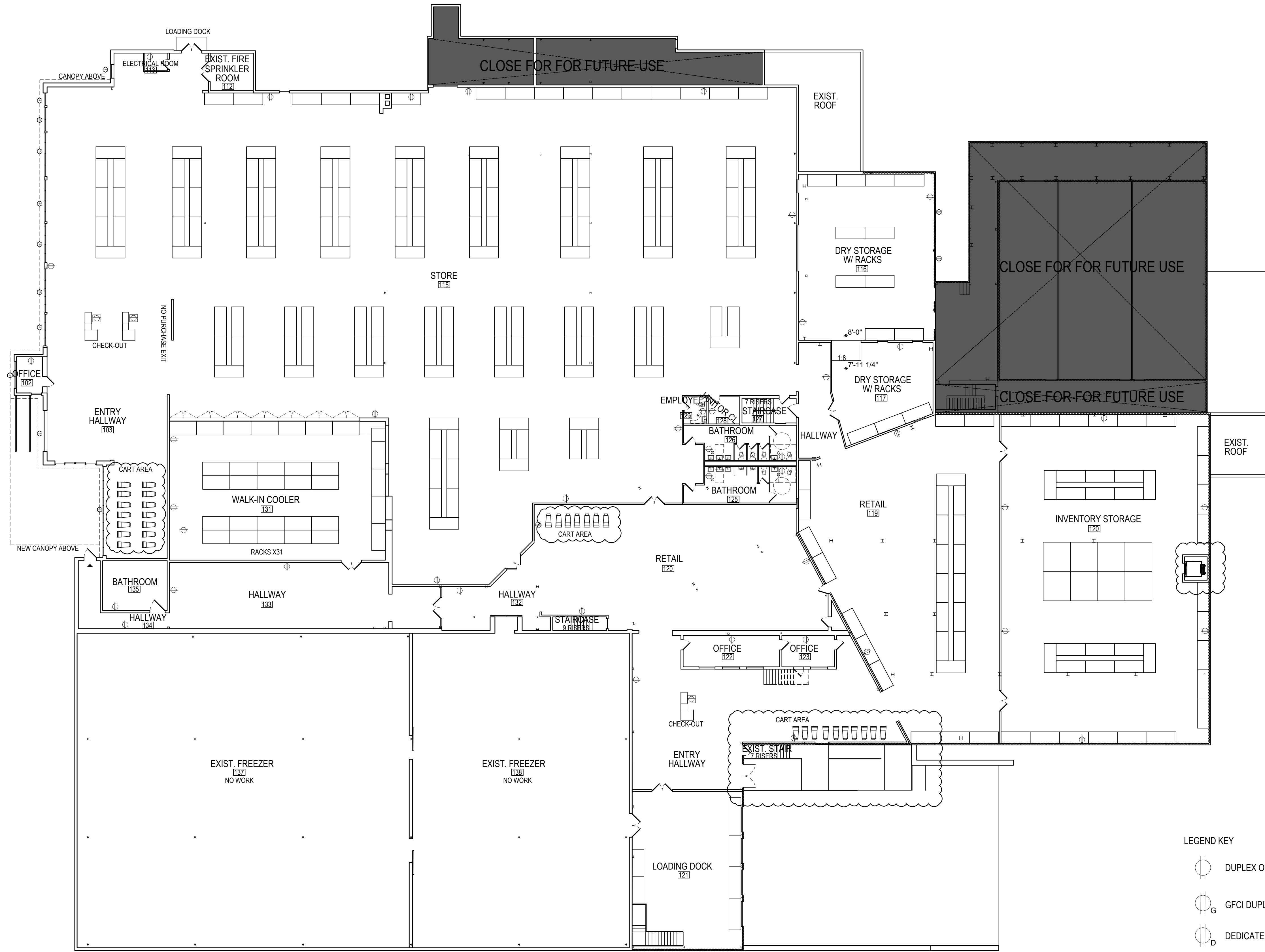
Drawing Title:

**UPPER LEVEL POWER PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-213.00**

SHEET 22 OF 31



LEGEND KEY

- DUPLEX OUTLET (NEW, HT TO MATCH EXIST.)
- GFCI DUPLEX OUTLET (NEW, HT TO REFER TO INT. ELEVATIONS)
- DEDICATED OUTLET
- FLOOR OUTLET

SCALE 1/16" = 1'-0"

1 UPPER LEVEL POWER PLAN

**KEN FOODS  
SUPERMARKET**

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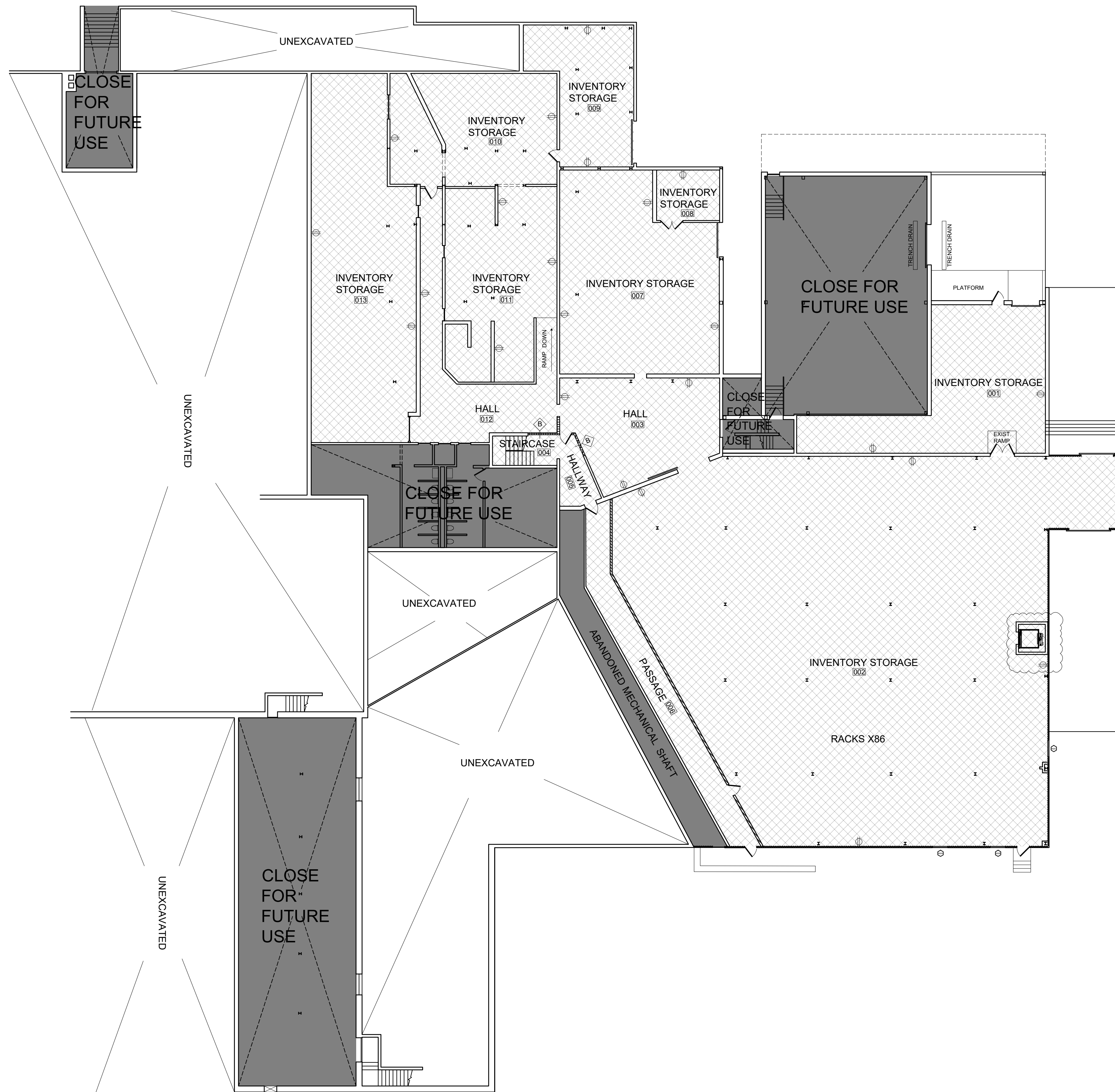
Drawing Title:

**LOWER LEVEL POWER PLAN**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-214.00**

SHEET 23 OF 31



LEGEND KEY

- DUPLEX OUTLET (NEW, HT TO MATCH EXIST.)
- GFCI DUPLEX OUTLET (NEW, HT TO REFER TO INT. ELEVATIONS)
- DEDICATED OUTLET
- FLOOR OUTLET

1 LOWER LEVEL POWER PLAN

SCALE 1/16" = 1'-0"

**KEN FOODS  
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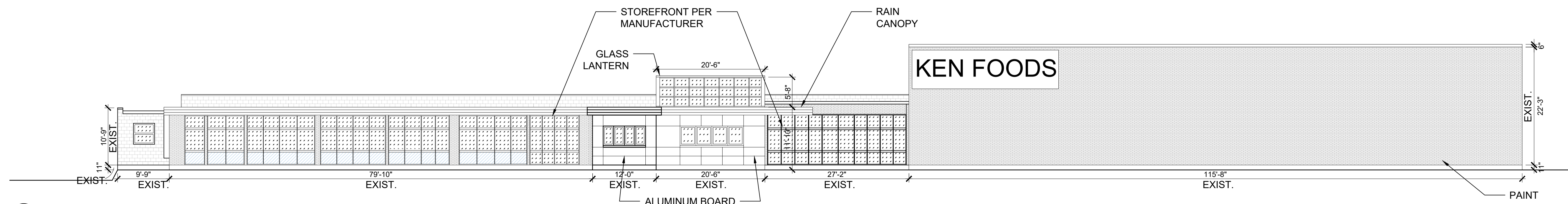
Drawing Title:

**NEW EXTERIOR ELEVATION**

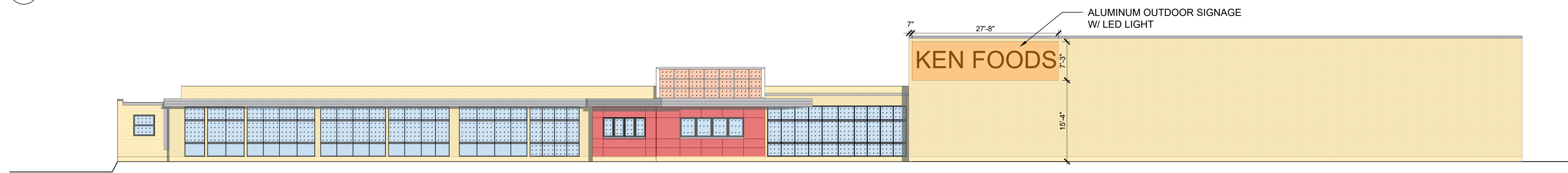
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Drawing No.:

**A-301.00**

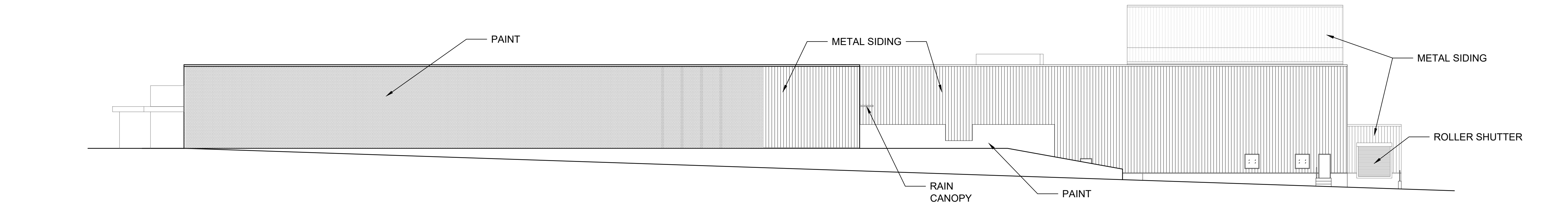
SHEET 24 OF 31



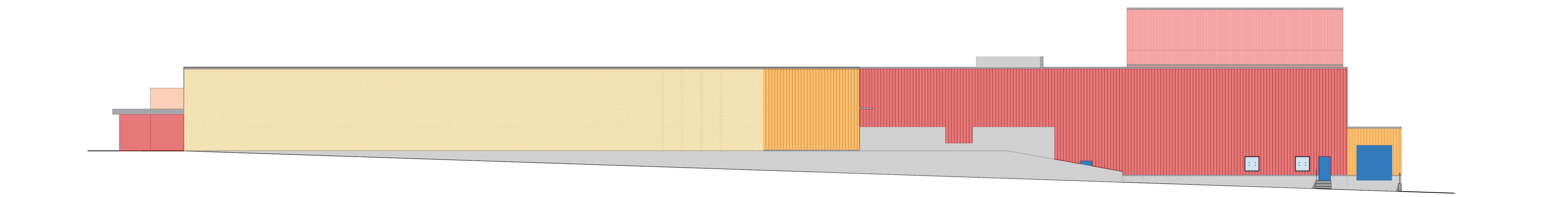
1 NEW EXTERIOR ELEVATION - WEST



2 NEW EXTERIOR ELEVATION - WEST



3 EXTERIOR ELEVATION - SOUTH



4 EXTERIOR ELEVATION - SOUTH

**KEN FOODS  
SUPERMARKET**

1000 SILAS DEANE HWY  
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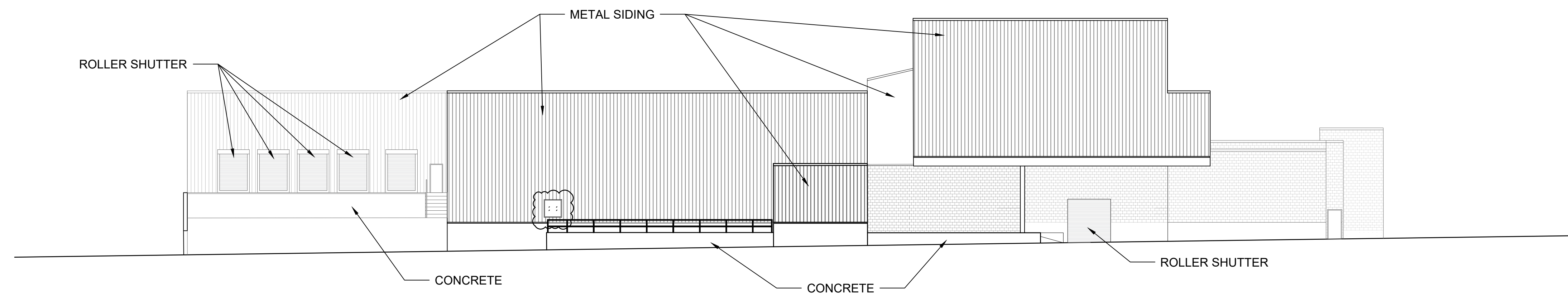
Drawing Title:

NEW EXTERIOR ELEVATION

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

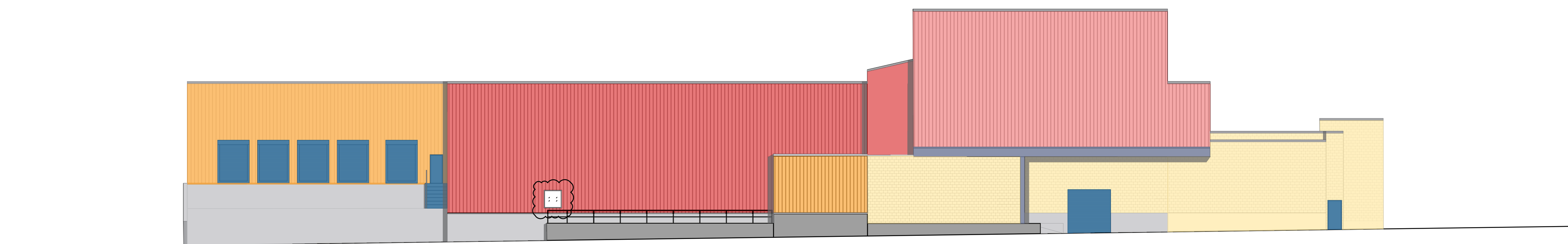
**A-302.00**

SHEET 25OF 31



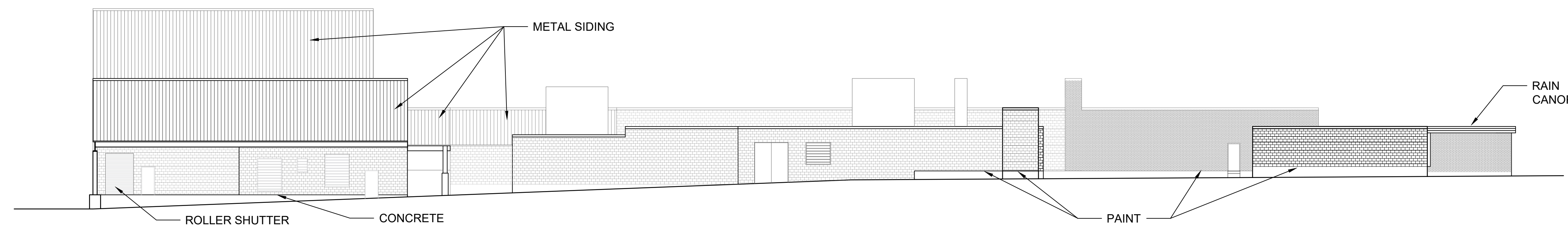
1 EXTERIOR ELEVATION - EAST

SCALE 1/16" = 1'-0"



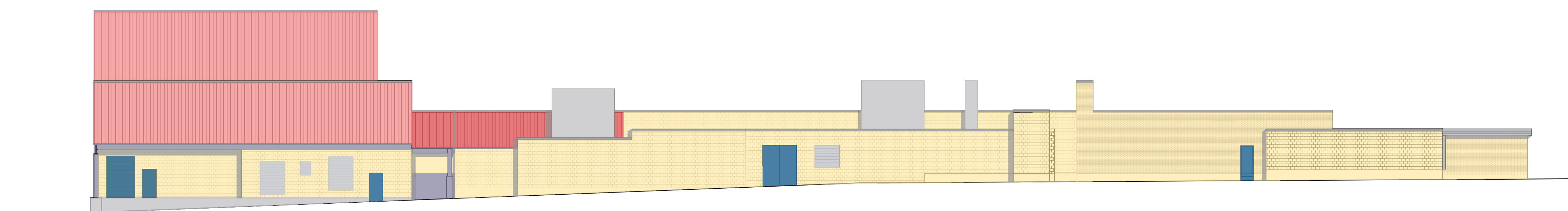
2 EXTERIOR ELEVATION - EAST

SCALE 1/16" = 1'-0"



3 EXTERIOR ELEVATION - NORTH

SCALE 1/16" = 1'-0"



4 EXTERIOR ELEVATION - NORTH

SCALE 1/16" = 1'-0"

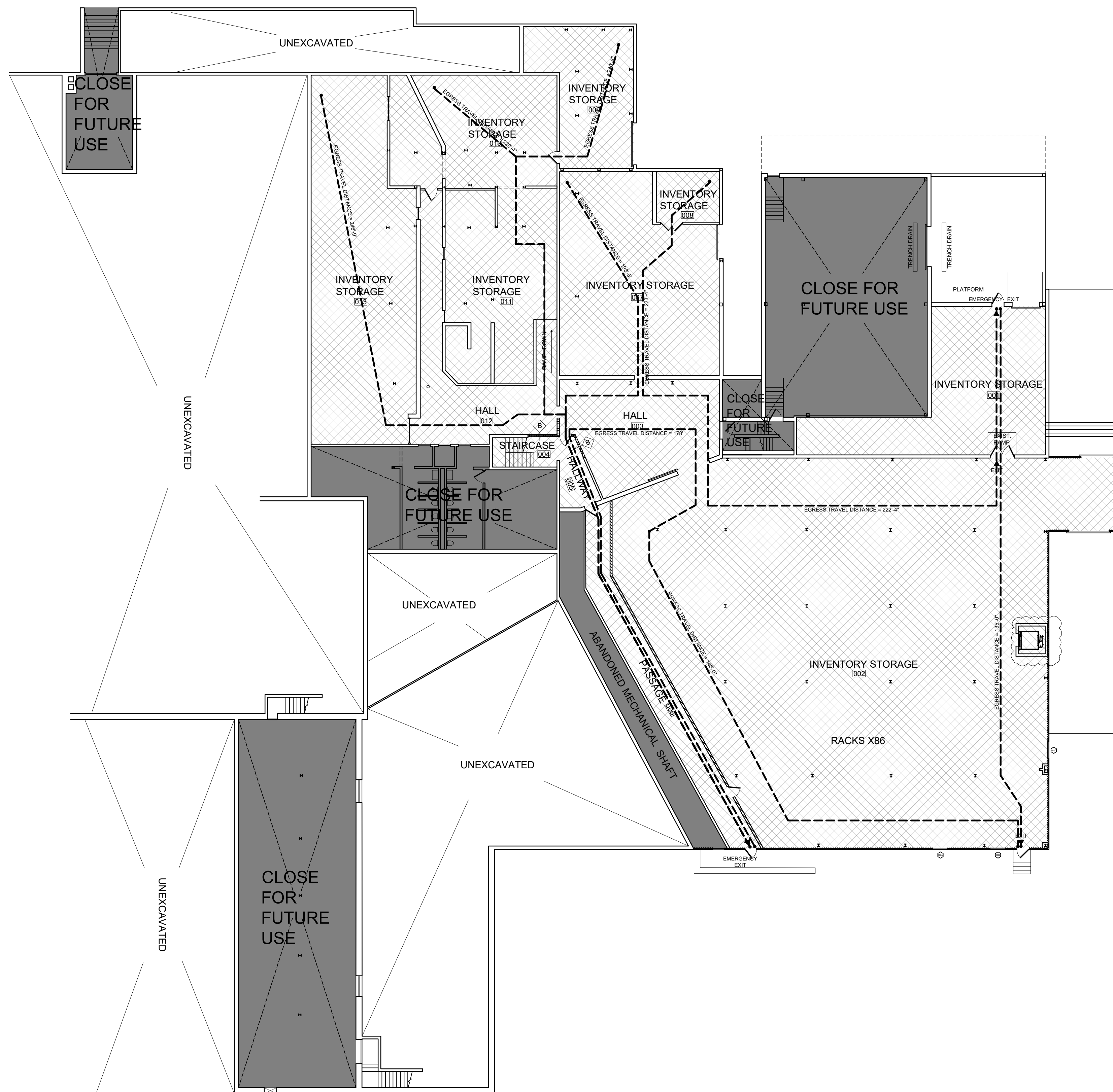


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OCCUPANCY LOAD:  
2015 INTERNATIONAL EXISTING BUILDING CODE (IBC)  
2018 CONNECTICUT STATE BUILDING CODE

TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

ACCESSORY STORAGE	300SF/ OCCUPANT
LOWER FL STORAGE AREA	20,704SF
(20,704) = 69 PERSON	
300	

TOTAL LOAD= 69 PEOPLE

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE  
REQUIRED EGRESS WIDTH =  
0.3INCH X 69 PEOPLE = 20.7INCH (1.725 FT)

PROVIDED EGRESS WIDTH=15 FT, OK.

TABLE 1017.2  
EXIT ACCESS TRAVEL DISTANCE\*

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, E, F-1, M, R, S-1	200	250 <sup>b</sup>
I-1	Not Permitted	250 <sup>b</sup>
B	200	300 <sup>c</sup>
F-2, S-2, U	300	400 <sup>c</sup>
H-1	Not Permitted	75 <sup>d</sup>
H-2	Not Permitted	100 <sup>d</sup>
H-3	Not Permitted	150 <sup>d</sup>
H-4	Not Permitted	175 <sup>d</sup>
H-5	Not Permitted	200 <sup>d</sup>
I-2, I-3, I-4	Not Permitted	200 <sup>d</sup>

For SI: 1 foot = 304.8 mm.

DESIGN  
DEVELOPMENT

1 LOWER LEVEL EGRESS PLAN

SCALE 1/8" = 1'-0"

Drawing Title:

LOWER LEVEL EGRESS PLAN

Date: 07-30-2025  
Scale: AS NOTED  
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**A-304.00**

SHEET 27OF 31

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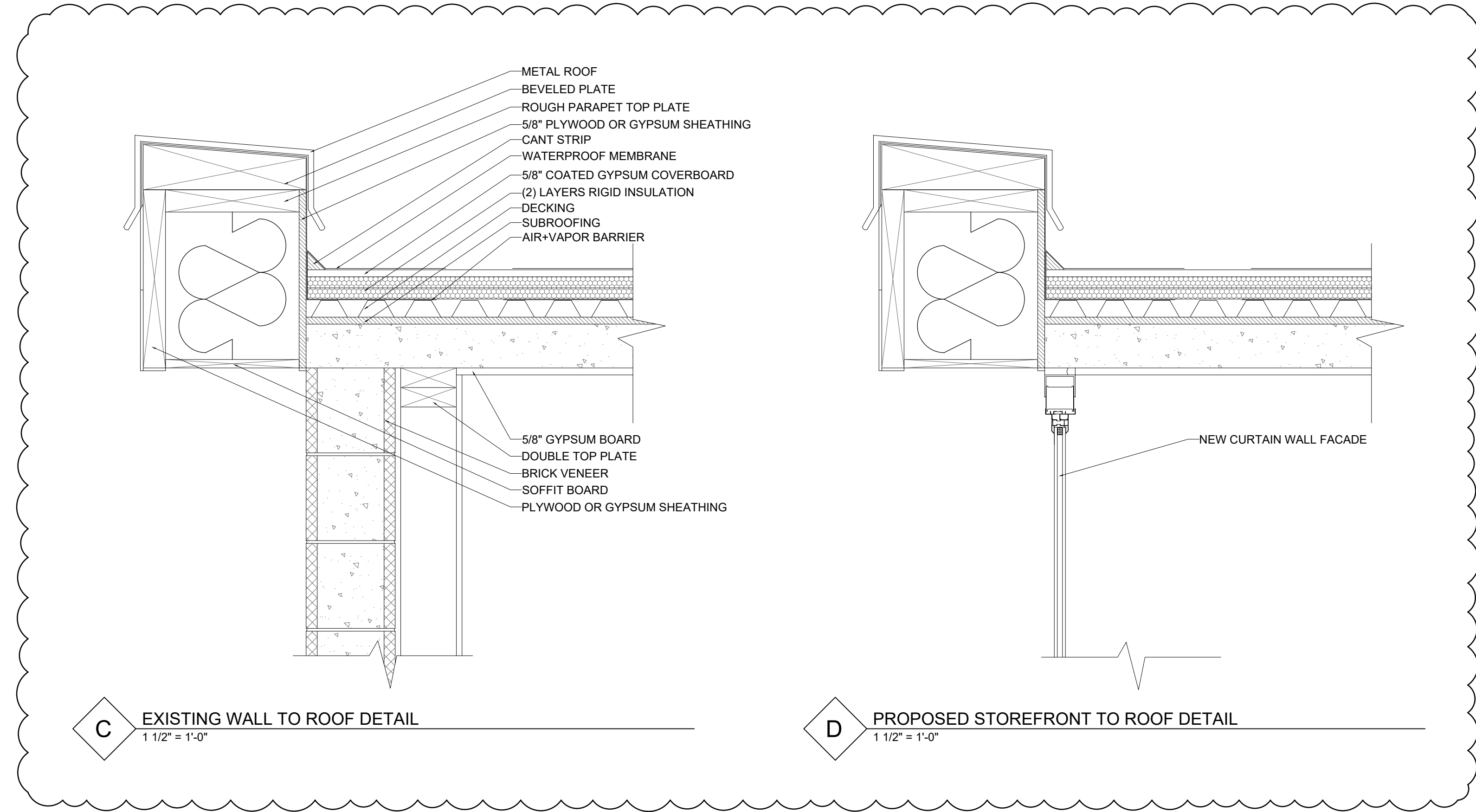
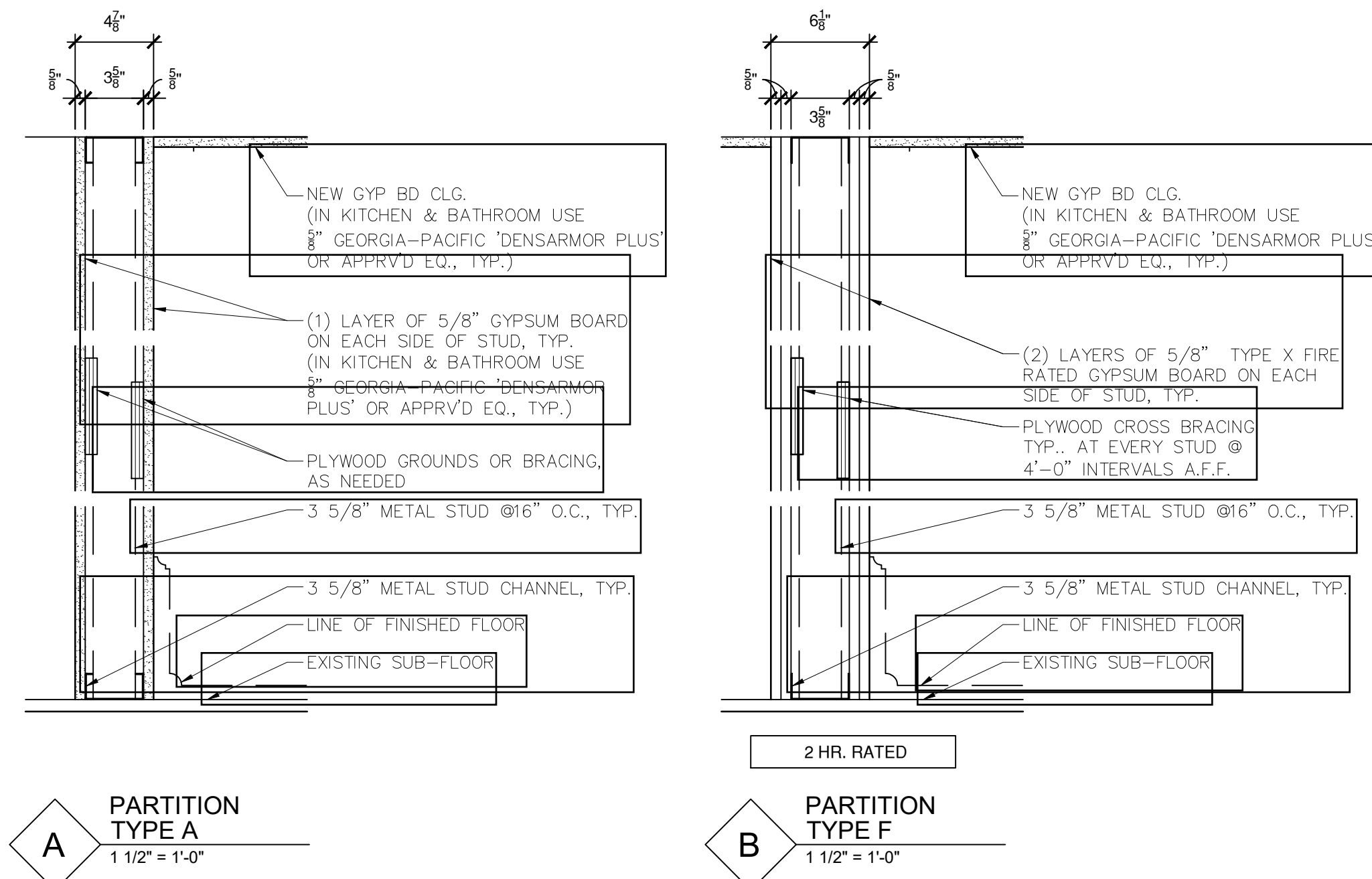
Drawing Title:

**PARTITION TYPES AND  
DETAILS**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

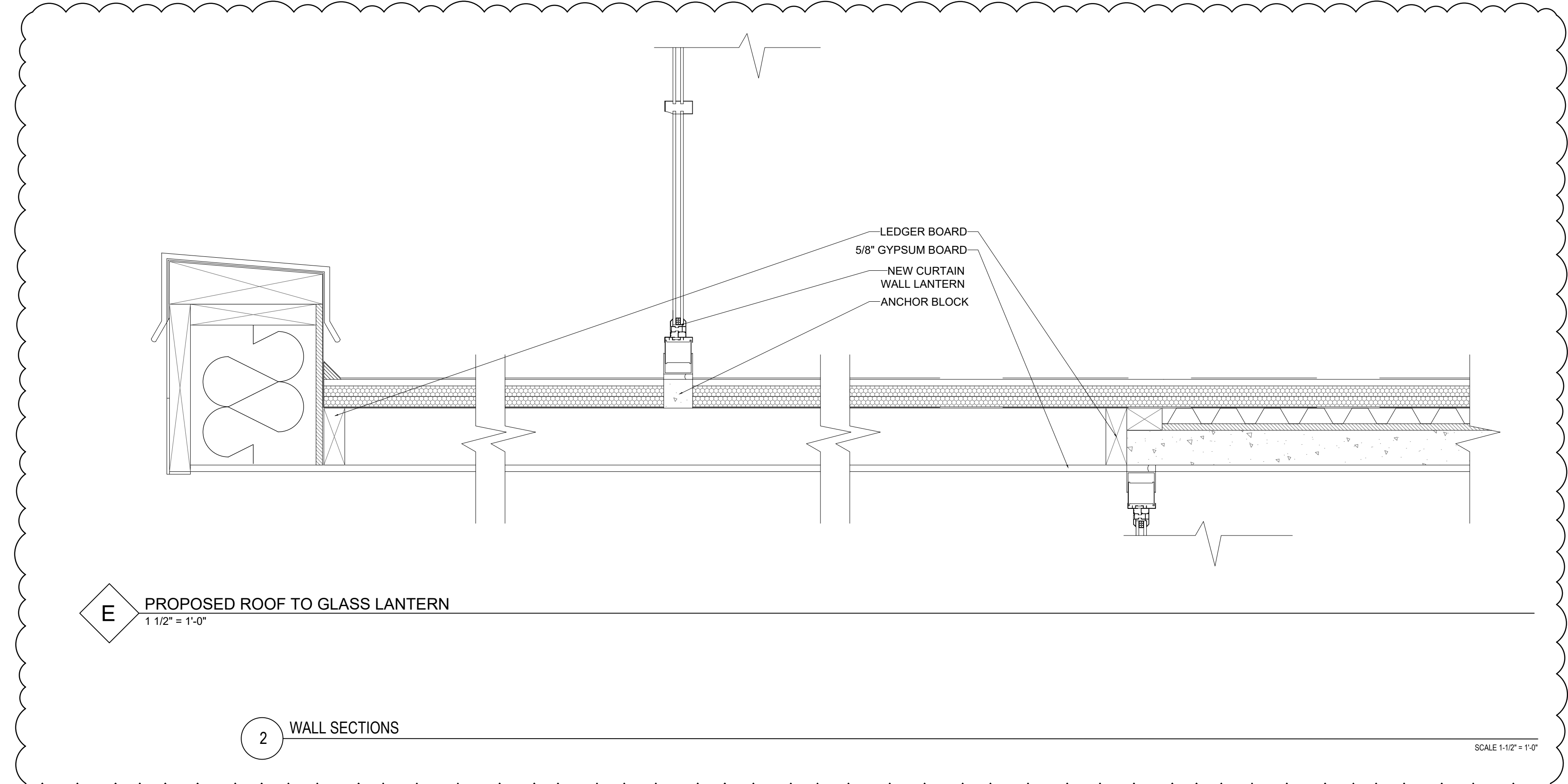
**A-305.00**

SHEET 28 OF 31



**1 PARTITION TYPES**

SCALE 1-1/2" = 1'-0"



**2 WALL SECTIONS**

SCALE 1-1/2" = 1'-0"

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REVISIONS:

**DESIGN  
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Drawing Title:

**SCHEDULE**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-401.00**

SHEET 29OF 31

Plumbing Fixtures and Fitting Schedule									
Floor	Room No.	Room	Item	MFR	Model	Number	Quantity	Finish	Remarks
Upper Level	106	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	1	White	
			Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	1	Ceramic	
			Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel	
			GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	1	Plastic	
			XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	1	Black / White	
	108	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	1	White	
			Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	1	Ceramic	
			Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel	
			GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	1	Plastic	
			XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	1	Black / White	
	110	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	1	White	
			Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	1	Ceramic	
			Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel	
			GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	1	Plastic	
			XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	1	Black / White	
	125	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	2	White	
			Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	4	Ceramic	
			Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel	
			GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	3	Plastic	
			XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	3	Black / White	
			Urinal Privacy Screen, 18"W x 42"H, Stainless Steel	BRADLEY	S472-18C	C1964735	2	Silver	
			Hadrian Toilet Partition, 1 In Corner Compartment	HADRIAN	IC13660-SS-HADRIAN	C3060462	1	Silver	
			Hadrian Toilet Partition, 1 ADA In Corner Compartment	HADRIAN	ICADA-SS-HADRIAN	C3060458	1	Silver	
			Commercial Toilet Paper Dispenser	BOBRICK	B-2892	C1968506	2	Silver	
126			Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	4	White
	Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections		Simple	Simple 60.50A	4	Ceramic		
	Bobrick 36" Grab Bar	Bobrick		Bobrick	B5806 x 36	1	Stainless Steel		
	GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE		GOJO® LTX™	H-5066	3	Plastic		
	XLERATOR® HAND DRYERS	ULINE		XLERATOR®	H-1927	3	Black / White		
	Hadrian Toilet Partition, 3 In Corner Compartment, Stainless Steel	HADRIAN		C3060468	IC33660-SS	1	Silver		
	Hadrian Toilet Partition, 1 ADA In Corner Compartment	HADRIAN		ICADA-SS-HADRIAN	C3060458	1	Silver		
	Commercial Toilet Paper Dispenser	BOBRICK		B-2892	C1968506	4	Silver		
129	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	1	White		
		Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	1	Ceramic		
		Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel		
		GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	1	Plastic		
		XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	1	Black / White		
139	Bathroom	Highline Classic 2-piece 1.6 GPF Single Flush Elongated Toilet in White	Kohler	Pressure Lite	K-3493	1	White		
		Simple 60.50A Rectangular ADA Compliant Vessel or Wall Mounted Bathroom Sink, 23.6"	WS Bath Collections	Simple	Simple 60.50A	1	Ceramic		
		Bobrick 36" Grab Bar	Bobrick	Bobrick	B5806 x 36	1	Stainless Steel		
		GOJO® LTX™ Foaming Soap Touchless Dispenser - 1,200 mL	ULINE	GOJO® LTX™	H-5066	1	Plastic		
			XLERATOR® HAND DRYERS	ULINE	XLERATOR®	H-1927	1	Black / White	

Room Finish Schedule									
Floor	Room No.	Room Name	Floor		Walls			Ceiling	
			Material	Finish	Material	Finish	Base	Material	Finish
Upper Level	101	Vestibule	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	102	Office	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	103	Entry Hallway	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	104	Office	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	105	Rental C	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	106	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	107	Rental B	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	108	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	109	Rental A	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	110	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	111	Hallway	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	112	Exist. Fire Sprinkler Room	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	113	Electrical Room	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	114	Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	115	Store	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	116	Dry Storage w/ Racks	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	117	Dry Storage w/ Racks	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	118	Inventory Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	119	Retail	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	120	Retail	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	121	Loading Dock	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	122	Office	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	123	Office	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	124	Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	125	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	126	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	127	Staircase	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	128	Janitor Cl	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	129	Employee Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	130	Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
131	Walk-In Cooler	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
132	Hallway	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
133	Hallway	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
134	Hallway	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
135	Bathroom	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
136	Rental D	Epoxy	Epoxy	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
137	Walk-In Freezer	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
138	Walk-In Freezer	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell	
Lower Level	001	Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	002	Storage	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	003	Hallway	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	004	Staircase	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	005	Hallway	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell
	006	Passage Emergency Shaft	Polished Concrete	-	Paint	Eggshell	Vinyl	Exposed painted	Eggshell

**KEN FOODS  
SUPERMARKET**

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Drawing Title:

**SCHEDULE**

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

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SHEET 30OF 31

Door Schedule							
Floor	Room No.	Door No.	Location	Door Type	Size (W x H x Thk)	Remarks	
Upper Level	101	101	Entry	Double Sliding Door	12'-0" x 7'-6"	-	
	102	102	Office Door	Single Swing Door	3' x 6'-8"	-	
	103	103	Entry Hallway	Double Glass Swing Door	6' x 7'-6"	-	
	104	104	Office Door	Single Swing Door	3' x 6'-8"	-	
	105	105A	Entry Rental C	Double Glass Swing Door	6' x 7'-6"	-	
	106	105B	Door to Hallway	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	107	106	Bathroom	Single Swing Door	3' x 6'-8"	-	
	107	107A	Entry Rental B	Double Glass Swing Door	6' x 7'-6"	-	
	108	107B	Entry Hallway	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	108	108	Bathroom	Single Swing Door	3' x 6'-8"	-	
	109	109A	Entry Rental A	Double Glass Swing Door	6' x 7'-6"	-	
	110	109B	Door to Hallway	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	111	110	Bathroom	Single Swing Door	3' x 6'-8"	-	
	112	111	Loading Dock	Double Swing Door	6' x 7'-6"	-	
	113	112	Existing Fire Sprinkler	Double Swing Door	6' x 7'-6"	2hrs Fire-Proof Door	
	114	113	Electrical Room	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	115	114	Storage	Double Swing Door	6' x 7'-6"	-	
	116	115	Storage	Single Swing Door	3' x 6'-8"	Existing Door to remain closed	
	116	116A	Dry Storage	Double Swing Door	3' x 6'-8"	Existing Door to remain closed	
	117	116B	Dry Storage	Single Swing Door	6' x 7'-6"	Existing Door to remain closed	
	118	117	Door to Staircase	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	119	118	Door to Storage	Double Swing Door	6' x 7'-6"	-	
	119	119A	Storage	Roller Shutter	3' x 6'-8"	Existing Roller Shutter to stay open	
	119	119B		Single Swing Door	3' x 6'-8"	Existing Door	
	120	120A	Storage	Sliding gate	6' x 7'-6"	Existing sliding gate to remain open	
	121	121		Exit Door	Single Swing Door	3' x 6'-8"	Existing Door
	122	122A	Office	Single Swing Door	3' x 6'-8"	Existing Door	
	123	122B		Single Swing Door	3' x 6'-8"	Existing Door	
	124	123	Office	Single Swing Door	3' x 6'-8"	Existing Door	
	124	124A	Storage	Double Swing Door	3' x 6'-8"	-	
	124	124B	Staircase	Single Swing Door	3' x 6'-8"	Door to remain closed	
	124	124C	Door to Hallway	Double Swing Door	6' x 7'-6"	2hrs Fire-Proof Door	
	124	124D	Door to store	Double Swing Door	6' x 7'-6"	2hrs Fire-Proof Door	
	125	124E	Storage	Single Swing Door	3' x 6'-8"	-	
	126	125	Bathroom	Single Swing Door	3' x 6'-8"	-	
	127	126	Bathroom	Single Swing Door	3' x 6'-8"	-	
	128	127	Staircase	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	129	128	Janitor CL	Single Swing Door	3' x 6'-8"	-	
	130	129	Employee Bathroom	Single Swing Door	3' x 6'-8"	-	
	131	130	Storage	Double Swing Door	6' x 7'-6"	2hrs Fire-Proof Door	
	131	131	Door to Hallway	Double Swing Door	6' x 7'-6"	2hrs Fire-Proof Door	
	134	134A	Door to Outside	Single Swing Door	3' x 6'-8"	Existing Door	
	134	134B	Door to Rental D	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
	135	135	Bathroom	Single Swing Door	3' x 6'-8"	-	
	136	136A	Entry Rental D	Double Glass Swing Door	6' x 7'-6"	-	
	136	136B	Door to vestibule	Single Swing Door	3' x 6'-8"	-	
	137	137A	Walk- In Freezer	Gate Door	3' x 6'-8"	Existing Gate	
	137	137B		Gate Door	3' x 6'-8"	Existing Gate	
	138	138A	Walk- In Freezer	Gate Door	3' x 6'-8"	Existing Gate	
	138	138B		Double Swing Door	6' x 7'-6"	Existing Door	
	Lower Level	001	001A	Emergency Exit	Single Swing Door	3' x 6'-8"	Existing Door
		001	001B	Storage	Roller Shutter	6' x 7'-6"	Existing Roller Shutter
		002	002A	Storage	Double Swing Door	6' x 7'-6"	Existing Door
		002	002B	Door to outside	Single Swing Door	3' x 6'-8"	Existing Door
002		002C	Storage	Roller Shutter	6' x 7'-6"	Existing Roller Shutter	
002		002D	Storage	Roller Shutter	6' x 7'-6"	Existing Roller Shutter	
003		002E	Door to passage shaft	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
003		003A	Door to Storage	Gate Door	6' x 7'-6"	Existing Gate	
003		003B	Hall	Single Swing Door	3' x 6'-8"	Door to remind closed	
003		003C	Hall	Single Swing Door	3' x 6'-8"	Door to remind closed	
003		003D	Hall	Single Swing Door	3' x 6'-8"	Door to remind closed	
005		005A	Door to Hallway	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
006		005B	Door to Passage Shaft	Single Swing Door	3' x 6'-8"	2hrs Fire-Proof Door	
006		006	Passage Emergency Exit	single Swing Door	3' x 6'-8"	Existing Door	

Window Schedule							
Floor	Room No.	Window No.	Location	Window Type	Size(W x H)	Remarks	
Upper Level	102	102	Office	Two Double Swing Window	8' x 4'		
	103	103A	Entry Hallway	Glass Curtain Wall	26'-2" x 9'-7"		
		103B		Two Double Swing Window	12' x 4'		
	115	115A	Store	Glass Curtain Wall	9'-4" x 9'-5"		
		115B		Glass Curtain Wall	12'-10" x 9'-5"		
		115C		Glass Curtain Wall	11'-6" x 9'-5"		
		115D		Glass Curtain Wall	12'-4" x 9'-5"		
		115E		Glass Curtain Wall	12'-10" x 9'-5"		
		115F		Glass Curtain Wall	7' x 9'-5"		
		115G		Glass Curtain Wall	3'-9" x 9'-5"		
	116	115H	Dry Storage W/ Racks	Double Hung Window	4' x 4'		
		116A		Double Hung Window	5' x 4'		
	Lower Level	002	002A	Inventory Storage	Single Swing Window	3'-9" x 4'	
			002B	Single Swing Window	3'-9" x 4'		
002C			Single Swing Window	4'-1" x 4'			

Lighting Schedule										
Floor	Room No.	Room	Item	MFR	Model	Specification	Quantity	Finish	Remarks	
Upper Level	102	Office	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	1	White		
							20			
	103	Entry Hallway	LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1	RED		
	112	Exist. Fire Sprinkler Room	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	1	White		
	113	Electrical Room	LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1			RED
	115	Store	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	42	White		
	116	Dry Storage W/ Racks					12			
	117	Dry Storage W/ Racks					4			
	117	Dry Storage W/ Racks					4			
	118	Inventory Storage					16			
	119	Retail					12			
	120	Retail					22			
	121	Loading Dock					8			
	122	Office								
	123	Office					3			
	125	Bathroom					3			
	126	Bathroom					3			
	128	Janitor Closet					1			
	129	Employee Room								
	131	Walk-In Cooler					12			
	132	Hallway					3			
	133	Hallway					5			
	134	Hallway					4			
	Lower Level	135	Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	2	White	
								6		
		001	Inventory Storage	LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1	RED	
		002	Inventory Storage	LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	5	White	
		003	Hall	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	15	White	
004		Staircase	Exist. Emergency Sign	-	-	-	1	-		
005	Hallway	LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	2	RED			
005	Hallway	LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	20	White			
003	Hall	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	4	White			
004	Staircase	Exist. Emergency Sign	-	-	-	1	-			
005	Hallway	LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1	RED			
005	Hallway	LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	1	White			

Lighting Schedule									
Floor	Room No.	Room	Item	MFR	Model	Specification	Quantity	Finish	Remarks
Lower Level	006	Passage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	7	White	
			Exist. Emergency Sign	-	-	-	2	-	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	6	White	
	007	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	11	White	
			LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1	RED	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	7	White	
	008	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	1	White	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	1	White	
	009	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	4	White	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	4	White	
	010	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	4	White	
			LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	1	RED	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	4	White	
	011	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	8	White	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	2	White	
	012	Hall	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	6	White	
			LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	2	RED	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	6	White	
	013	Inventory Storage	LED Shop Light W/ Suspension Cable	Westgate Manufacturing	LSP-4FT-40W-40K	40W 120V 4400 LM 4000K Color Temp.	7	White	
			LED Exit & Emergency Combo	Westgate Manufacturing	WHL-LEDCXTEU	5.4 Watts 120/277 Voltage	2	RED	
			LED Remote Capable Emergency Unit	Westgate Manufacturing	WHL-LEDR5HO	2W 120/277V	10	White	

**KEN FOODS  
SUPERMARKET**

1000 SILAS DEANE HWY  
WETHERSFIELD, CT 06109

ARCHITECT:

XZ Architecture  
29 Broadway #2400, New York, NY 10006  
917 383 2345  
szhang@xzarch.com  
www.xzarch.com

REVISIONS:

DESIGN  
DEVELOPMENT

Drawing Title:

SCHEDULE

Date: 07-30-2025  
Scale: AS NOTED  
Drawing No.:

**A-403.00**

SHEET 31 OF 31



**WETHERSFIELD**  
**ECONOMIC & COMMUNITY DEVELOPMENT**  
Planning@wethersfieldct.gov  
**(860) 721-2838**

OFFICE USE ONLY  
 Date Received  
**RECEIVED**  
**DEC 08 2025**  
 Application No.  
 BY: DE

**LAND USE APPLICATION**

App.# 2109-22-7

**Applicant' Name:** 245 OLD WETHERSFIELD LLC Phone Number: 860-810-7820  
**Address:** 212 Sherwood Drive, Glastonbury CT 06033  
**E-Mail:** NICKROMAN45@gmail.com

**Property Owner:** 245 OLD WETHERSFIELD LLC Phone Number: 860-810-7820  
**Address:** 212 Sherwood Drive, Glastonbury CT 06033  
**E-Mail:** NICKROMAN45@gmail.com

**Property Address:** 245 MAIN STREET  
**Zoning District:** VB **Map/Block/Lot #** 248 010

Is the Property Located within 500 feet of another municipality?      Yes  No

<b>Type of Application: (Check box)</b>	<b>FEE:</b>
<input checked="" type="checkbox"/> Special Permit	\$200* Plus \$25/1,000 s.f. GFA Or \$25/dwelling unit
<input type="checkbox"/> Site Plan and Design Review	\$200* Plus \$25/1,000 s.f. GFA Or \$25/dwelling unit
<input type="checkbox"/> Minor/Amended Site Plan	\$100*
<input type="checkbox"/> Subdivision Approval/Re-Subdivision Approval	\$200* and \$50/Lot
<input type="checkbox"/> Zoning Text Amendments	\$250
<input type="checkbox"/> Change of Zone	\$250*
<input type="checkbox"/> Lot Splits/First Cut	\$100
<input type="checkbox"/> Other (Specify) _____	

*Paid  
 Check #  
 1134*

\* An additional \$60 State Fee is required for these applications. If a Public Hearing is required an additional \$50 sign deposit fee is required. All checks should be made payable to "Town of Wethersfield".

I am requesting approval for a special permit modification under the provisions of Section 10.1.C.13 of the Wethersfield Zoning Regulations. The application is further defined as:  
change in use from brew pub to Personal Services and Professional offices, including continuance of onsite parking reduction and shared parking

Please submit six (6) paper copies of this application with all data and maps and one (1) electronic/digital PDF of the application, plans and supporting information.

I hereby certify that the above information and plans submitted are true and correct. The undersigned hereby authorizes this application and agrees that Town staff and members of the Commission have the right to enter the subject property for the purposes of inspection associated with this application.

*Nick Roman*  
 SIGNATURE OF APPLICANT(S)

*Nick Roman*  
 SIGNATURE OF PROPERTY OWNER (S)  
 (Or attach purchase/lease agreement or letter consenting to this application)

Return to: Planning & Zoning Dept.  
505 Silas Deane Highway  
Wethersfield, CT 06109



INSTR # 2022003859  
**VOL2154 Pgs 887-888**  
RECORDED 11/22/2022 03:36:17 PM  
SUSAN I. SCHROEDER  
TOWN CLERK WETHERSFIELD CT

**NOTICE: TO ALL AFFECTED OWNERS - THIS EXCEPTION, CHANGE OR VARIANCE IS NOT EFFECTIVE UNTIL RECORDED IN THE LAND RECORDS.**

Mr. Micah Kerr  
Hartford Brewing Company LLC (APPLICANT)  
Name(s) of Owner(s) of Record

PLANNING & ZONING COMMISSION

**TO: TOWN CLERK OF WETHERSFIELD**

**APPLICATION NO. 2104-22-Z**

In compliance with Chapter 124 Section 8-3d of the Connecticut General Statutes, the following Certification is made regarding the premises hereinafter set forth:

A Special Permit in accordance with Section 5.2.F.2 and 9 for a Change of Use to a Brew pub with outdoor dining at 245 Main Street subject to the following:

1. Submission of a revised Site Plan satisfying the comments made by Derrick Gregor, Town Engineer on the plan set last revised on June 6, 2022 including:
  - (a) The concrete driveway apron cannot be constructed extending into the parking area as shown since it would impede drainage flow and be damaged during plowing operations. Revise the apron width to match the limits of the existing sidewalk;
  - (b) For clarity, clearly show limits of the new pavement and provide proposed spot elevations for the concrete driveway apron and parking area to accommodate the grade change between the onsite parking lot and road surface, and to provide a 1% minimum slope for drainage to the proposed catch basin located to the west;
  - (c) Revise the hatches to show the concrete sidewalk ramp near the new handicap parking spaces and label it accordingly; and
  - (d) Delete the line stripe at the southern end of the new handicap parking spaces, which is not required.
2. Submission of a lighting plan with illumination levels and details to the satisfaction of Town Staff.
3. No outside music permitted.
4. The second floor shall not be used until such time as approved by the Commission.
5. All required Historic District Commission approvals shall be granted.
6. All interior and exterior improvements shall comply with the building code and the exterior maintenance repairs to the windows, doors and cornice painting shall be completed to the satisfaction of the Town Planner.
7. A landscape waiver for the # of trees and buffer requirement was granted.
8. The business hours shall be limited to 7 am to 11 pm with an additional provision that the outdoor patio hours shall be further limited to 10 pm on Sunday, Monday, Tuesday, Wednesday and Thursday nights.

9. The parking reduction/modification request as authorized by Section 6.2. of the zoning regulations in the VB zone and as detailed by the applicant is approved.

List below property description of affected premises:

245 Main Street  
Wethersfield, CT 06109



Denise Bradley, Assistant Town Planner  
Duly Authorized

NOTE: To be signed by Chairman, Clerk or  
Other Duly Authorized Official

**RECORDING FEES MUST BE PAID WHEN LEFT AT THE OFFICE OF THE TOWN CLERK FOR RECORDATION IN THE LAND RECORDS AT THE STATUTORY RATE OF \$60 FOR THE 1<sup>ST</sup> PAGE AND \$5 FOR EACH ADDITIONAL PAGE.**



11 Talcott Notch Road  
Farmington, CT 06032  
860-470-4500 (T)  
860-470-4501 (F)

Attorneys and Counselors at Law

---

November 25, 2025 **REVISED December 2, 2025**

Attorney Joseph Hammer, Chair  
Wethersfield Planning & Zoning Commission  
505 Silas Deane Highway  
Wethersfield, CT 06109

Re: 245 Main Street, Wethersfield, CT

### **Application Narrative**

Dear Attorney Hammer:

This narrative is submitted in support of the Application for [Site Plan and Special Permit Approval] (the "Application") submitted by 245 Old Wethersfield, LLC (the "Owner" or "Applicant") for property at 245 Main Street, Parcel ID 248010 (the "Site") located in the Town of Wethersfield, Connecticut (the "Town"). The Application proposes a modification of an existing Special Permit and Site Plan approval for the Site.

The Wethersfield Planning & Zoning Commission (the "Commission") previously approved a Special Permit and Site Plan for a Change of Use to a Brew pub (Application NO. 2104-22-Z) for the Site as evidenced by the Notice recorded on January 22, 2022 in Volume 2154 at Page 887 of the Wethersfield Land Records (the "Prior Approval").

The Applicant is proposing uses for the Site that are less intense than the use approved by the Prior Approval, including a reduction in the required parking for the Site. The Applicant recognizes that parking in the Old Wethersfield village district is a concern and submits that the Application results in a reduction in parking needs by the Site.

The Prior Approval stated that "[t]he second floor shall not be used until such time as approved by the Commission."

The current Application is requesting the following uses:

- First Floor of the Building: A professional office use of < 3,000 SF of gross floor area
- Second Floor of the Building: A personal service establishment of < 3,000 SF of gross floor area, which establishment shall be a beauty salon



11 Talcott Notch Road Farmington, CT 06032  
860-470-4500 | (T) 860-470-4501 (F)

- Lower Level Floor of the Building: Business, professional, or medical offices of < 3,000 SF of gross floor area

The application for a brew pub approved by the Prior Approval, which was just for the use on the First Floor, required 47 parking spaces. The current Application, for all three floors, requires 38 parking spaces, a reduction of 9 space. Following is a summary of the satisfaction of the parking requirement from the previously approved Prior Approval and the current Application.

	Previously Approved Application	Current Application
Required Number of Spaces	47	39
Spaces Provided Along Church Street	3	0
On Site	3	6
Off Site (parking agreement)	33	33
Per variance from parking requirements	9	Not needed
TOTAL	48	39

Other differences from prior Site Plan:

- Proposed two-bay garage removed, and replace with expanded on-site parking area adding three parking spaces in substitution for three on-street parking spaces
- Addition of patio and picnic table area along Church Street in replacement of outdoor dining area
- Addition of bike rack along Main Street side of building
- Removal of handicapped lift along Main Street, replaced with handicapped lift along Church Street, near entrance with elevator
- Variance from Site Plan setback requirements requested for entry stairs and handicapped lift along Church Street
- H/C Space proposed on site in accordance with ADA requirements
- Proposed fence line along property line replaced with vegetative buffer per neighbor's request; and
- Removal of exterior basement access stairs.

#### Site Plan Review Standards

The Application complies with all applicable provisions of the Zoning Regulations and meets all the site plan review standards set forth in Section 10.1.D.4 of the Zoning Regulations, including the following:

1. The location and design of buildings and landscaping on the site. The Application provides or a productive reuse of a long neglected historic building located on the Site. The design of the Site is intended to minimize impacts on surrounding properties (buffering landscaping provided). In addition, the Application has removed a previously approved two-car garage on the Site, resulting in a less intense use of the Site.
2. The extend and arrangement of parking facilities, entrances and exits. The Application, for all three floors of the building, requires almost 20 percent less parking than the Prior Approval for

the Site. The Applicant has provided an additional three (3) parking spaces on Site, lessening the need for the use of on-street parking. The entrance to the parking on the Site is a sufficient distance from the intersection of Main and Church Streets.

3. Compliance with the performance Standards. The proposed development will comply with all application performance criteria outline in Section 6.4 of the Zoning Regulations. The uses contemplated in the Application are low-impact in the way of traffic, noise, odors, and parking.
4. Availability of adequate sewerage and water supply. Not an issue as public sewer and water supply are available and adequate.

#### Conclusion

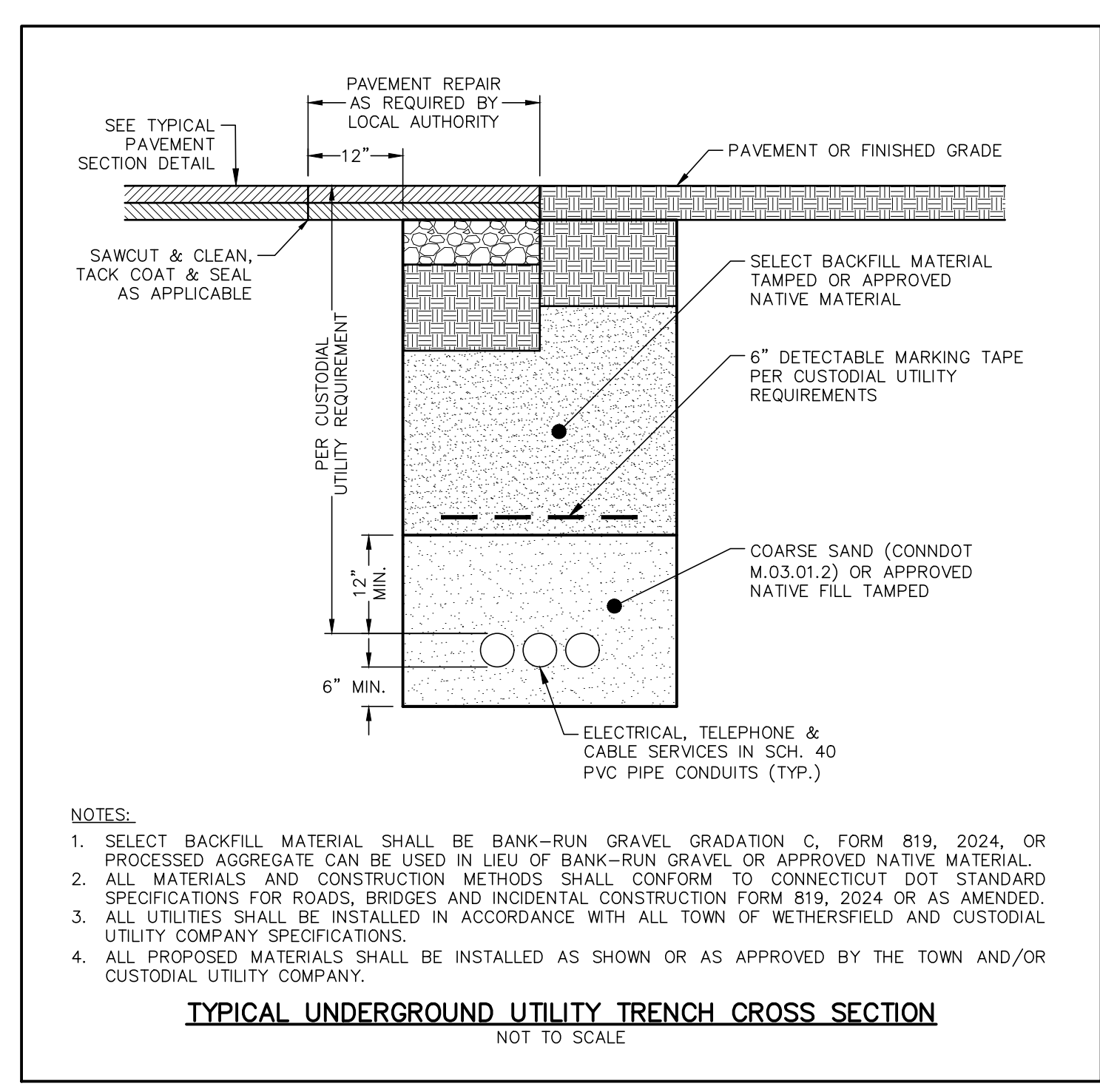
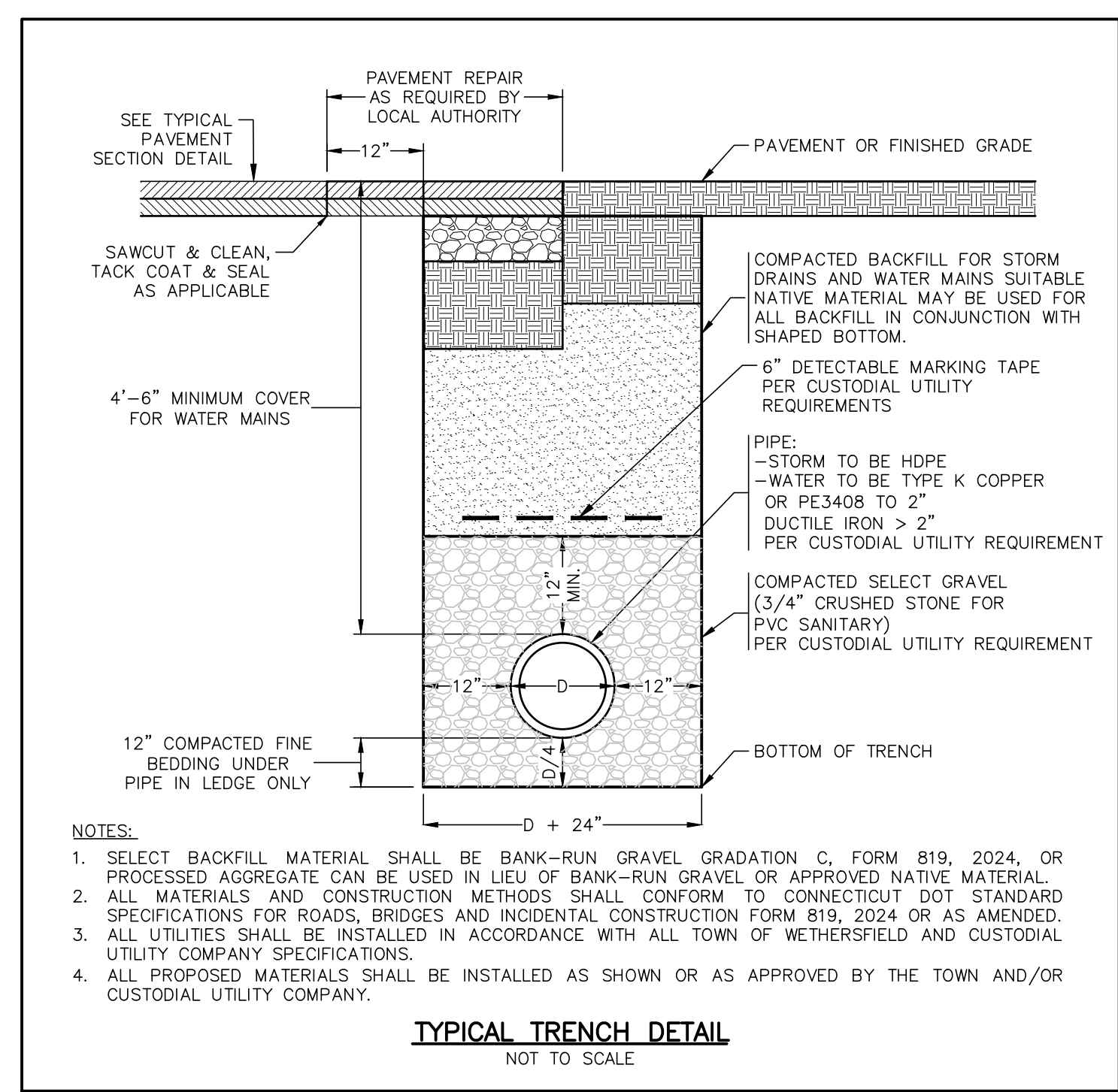
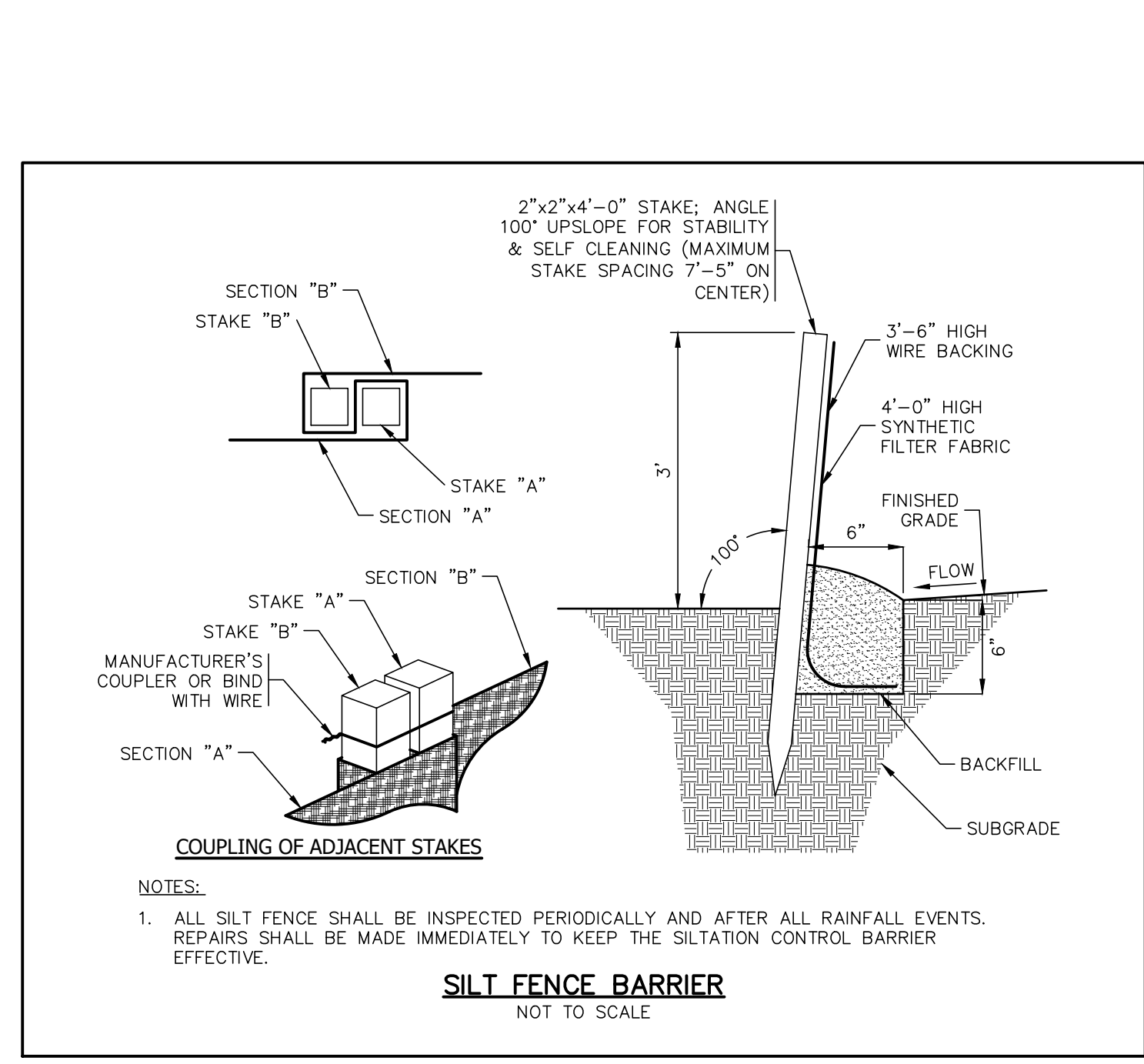
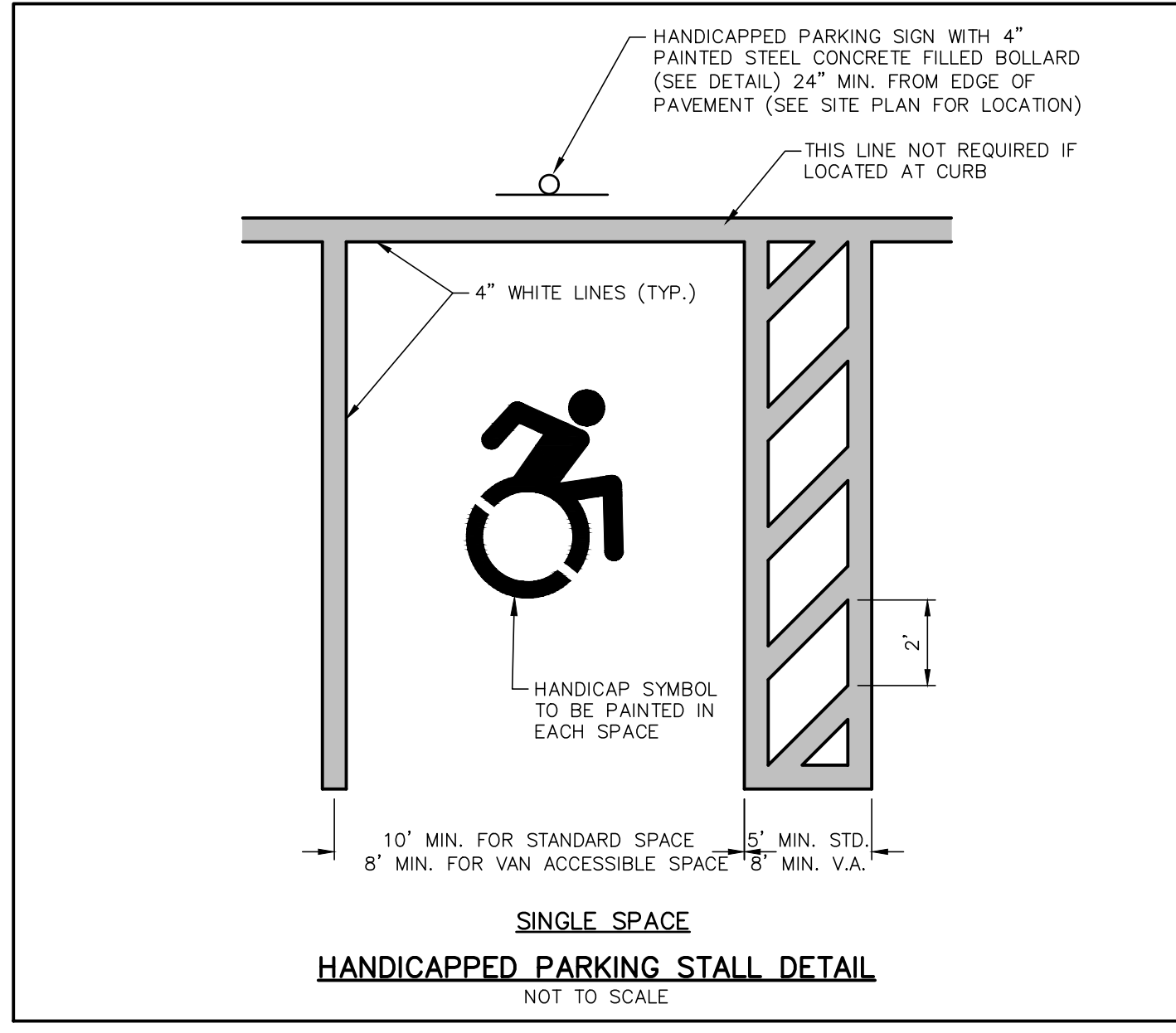
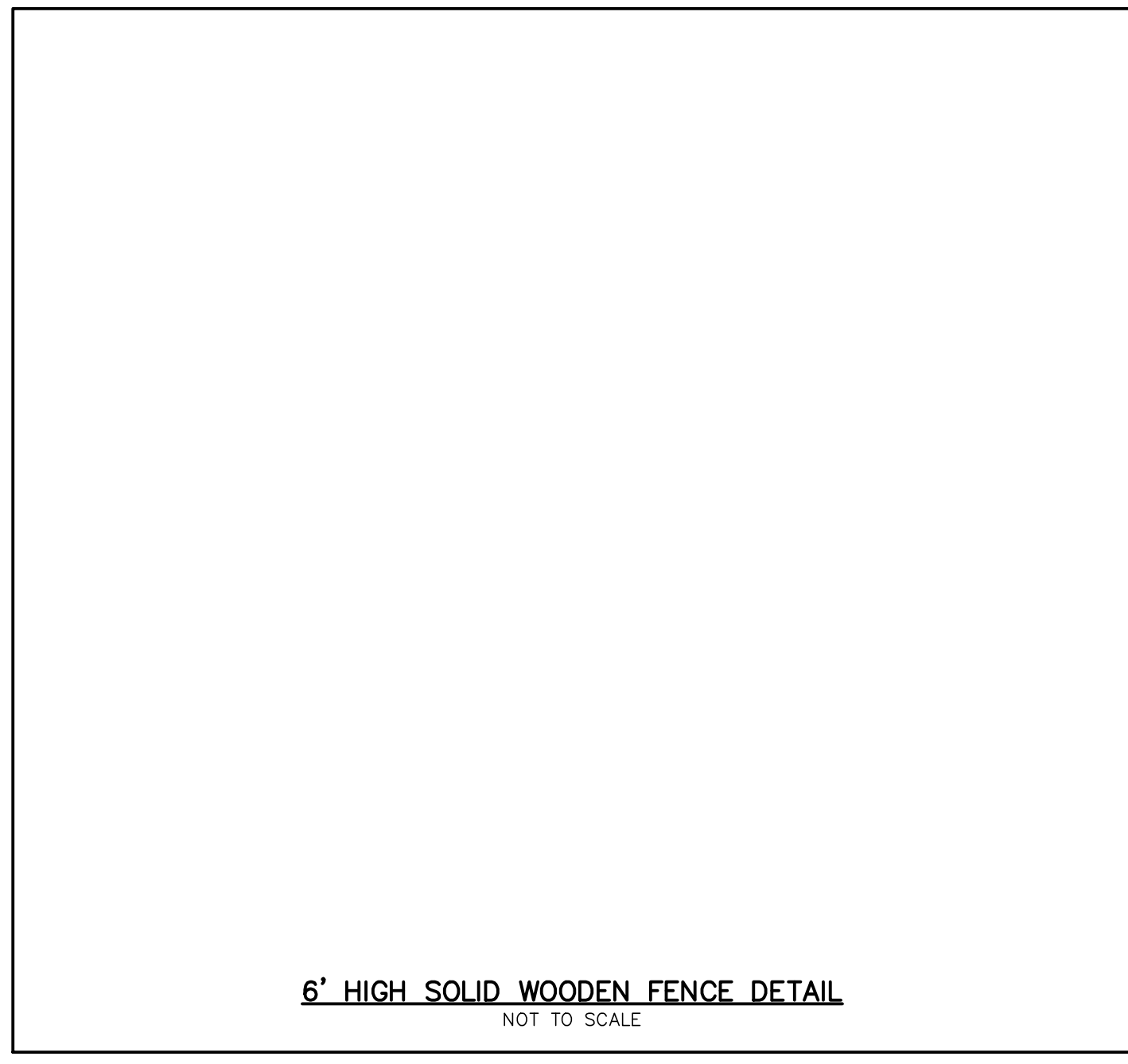
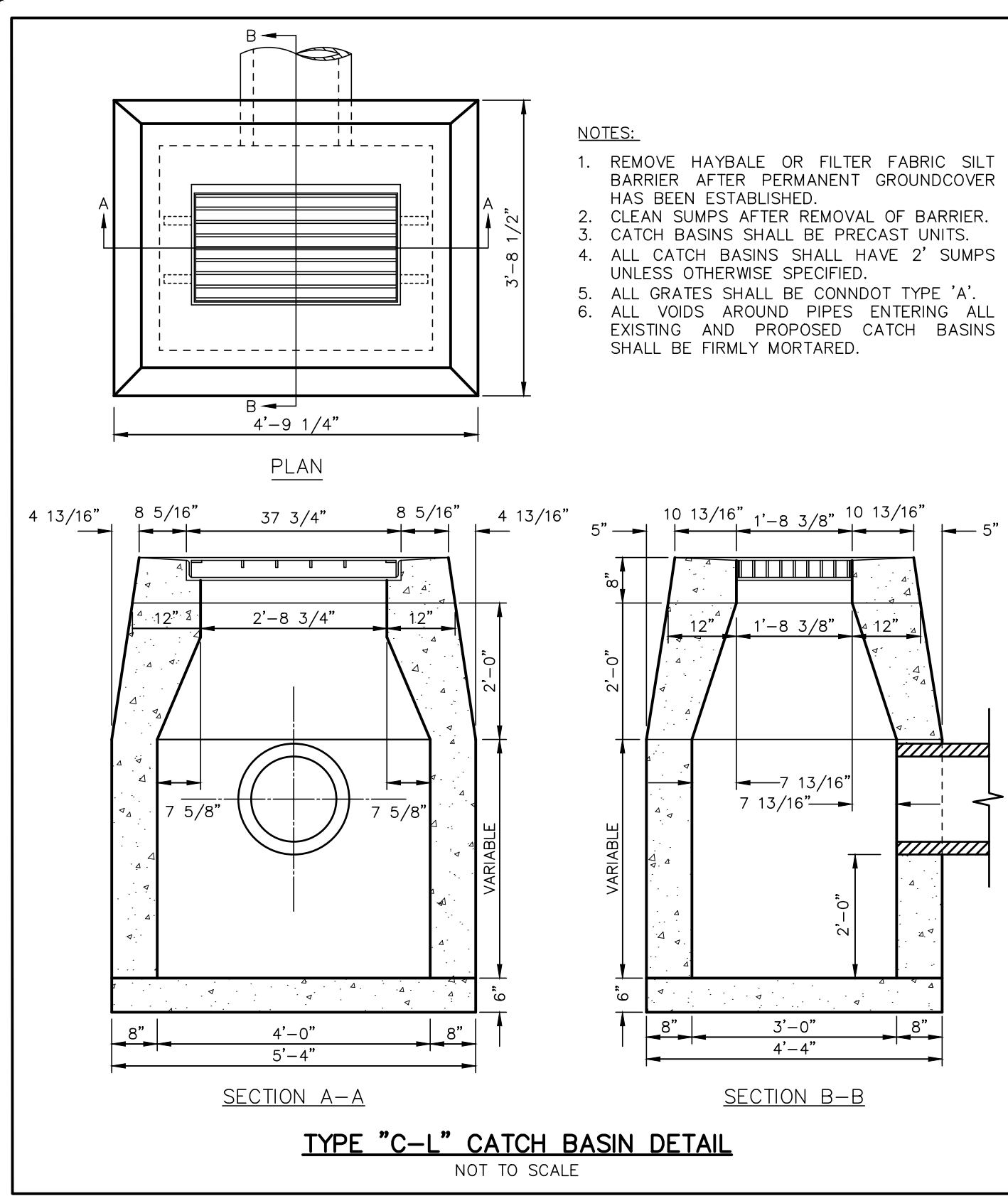
The Application results in an improvement from the Prior Approval both in the need for parking in the Village Business zone and in the intensity of the development on the Site. The Applicant respectfully request that the Commission approve the Application for modification of Special Permit and Site Plan approval.

Very truly yours,

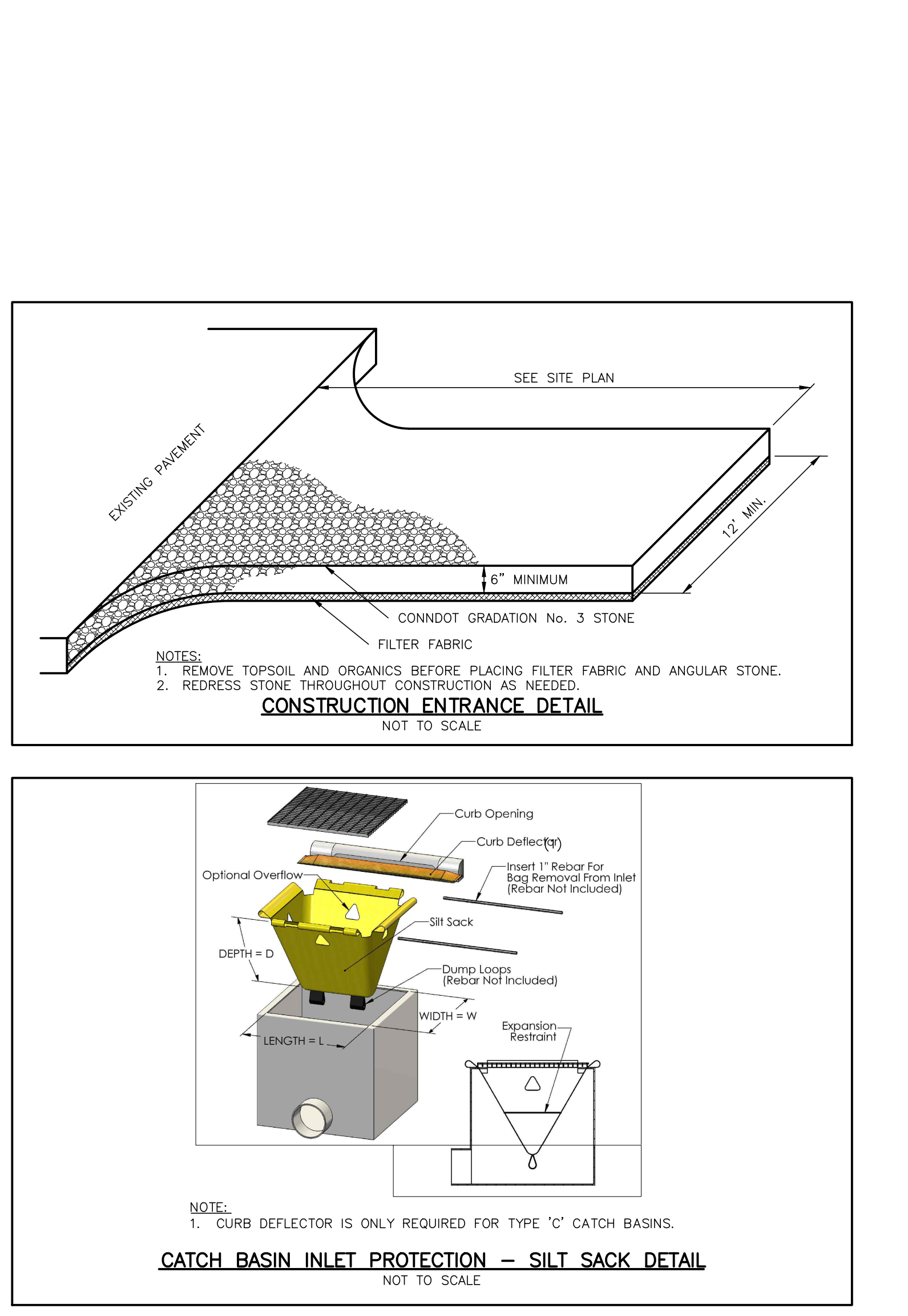
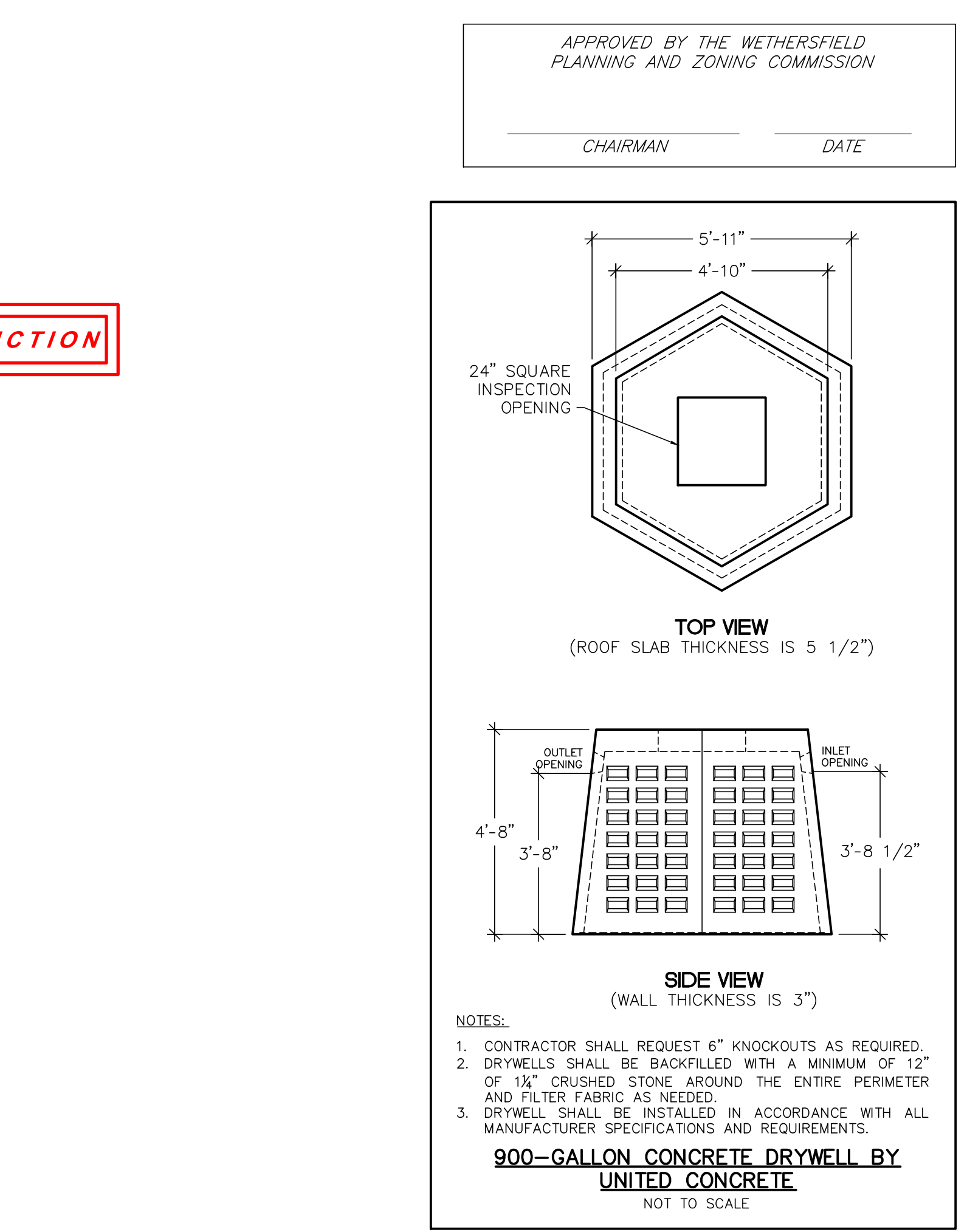
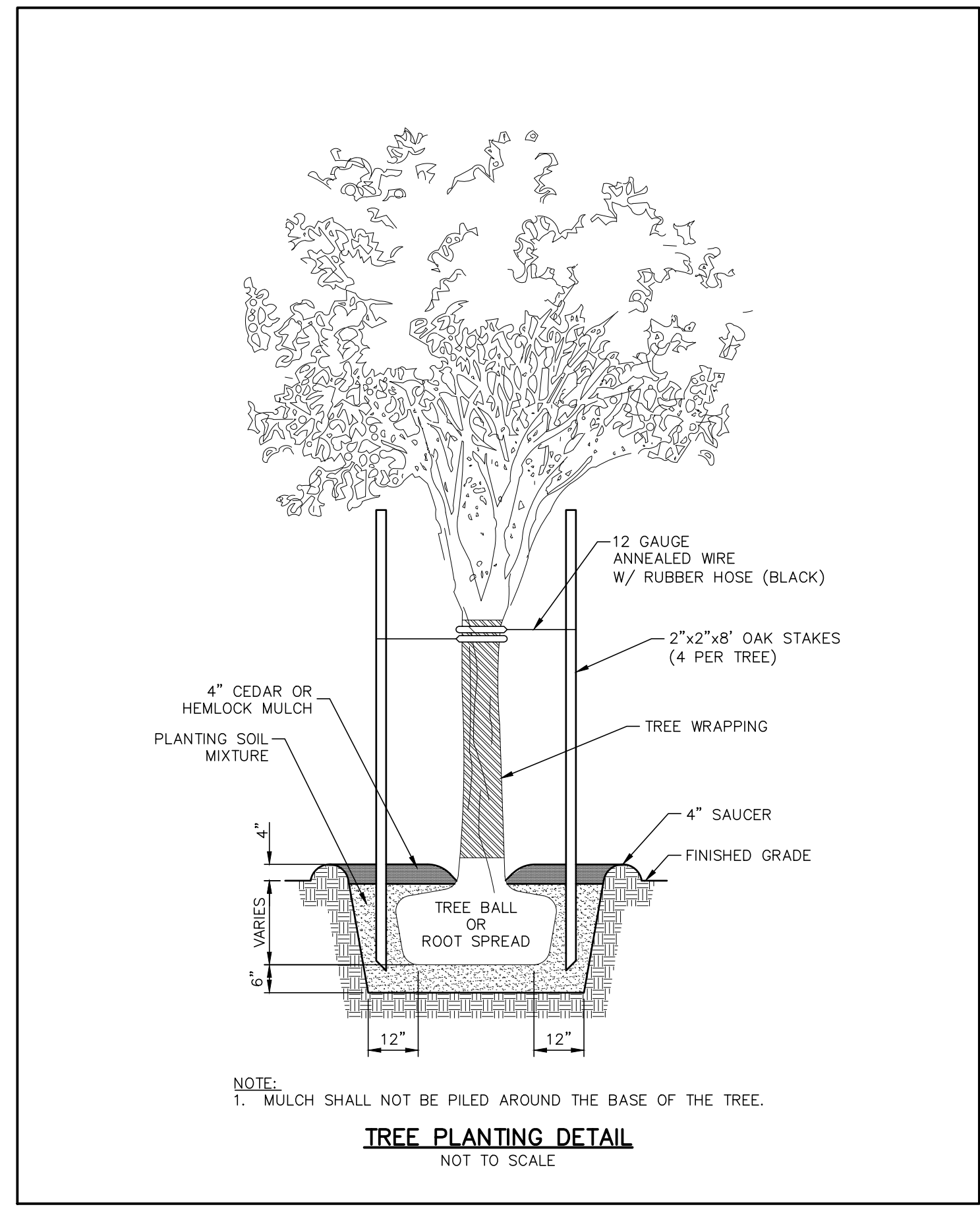
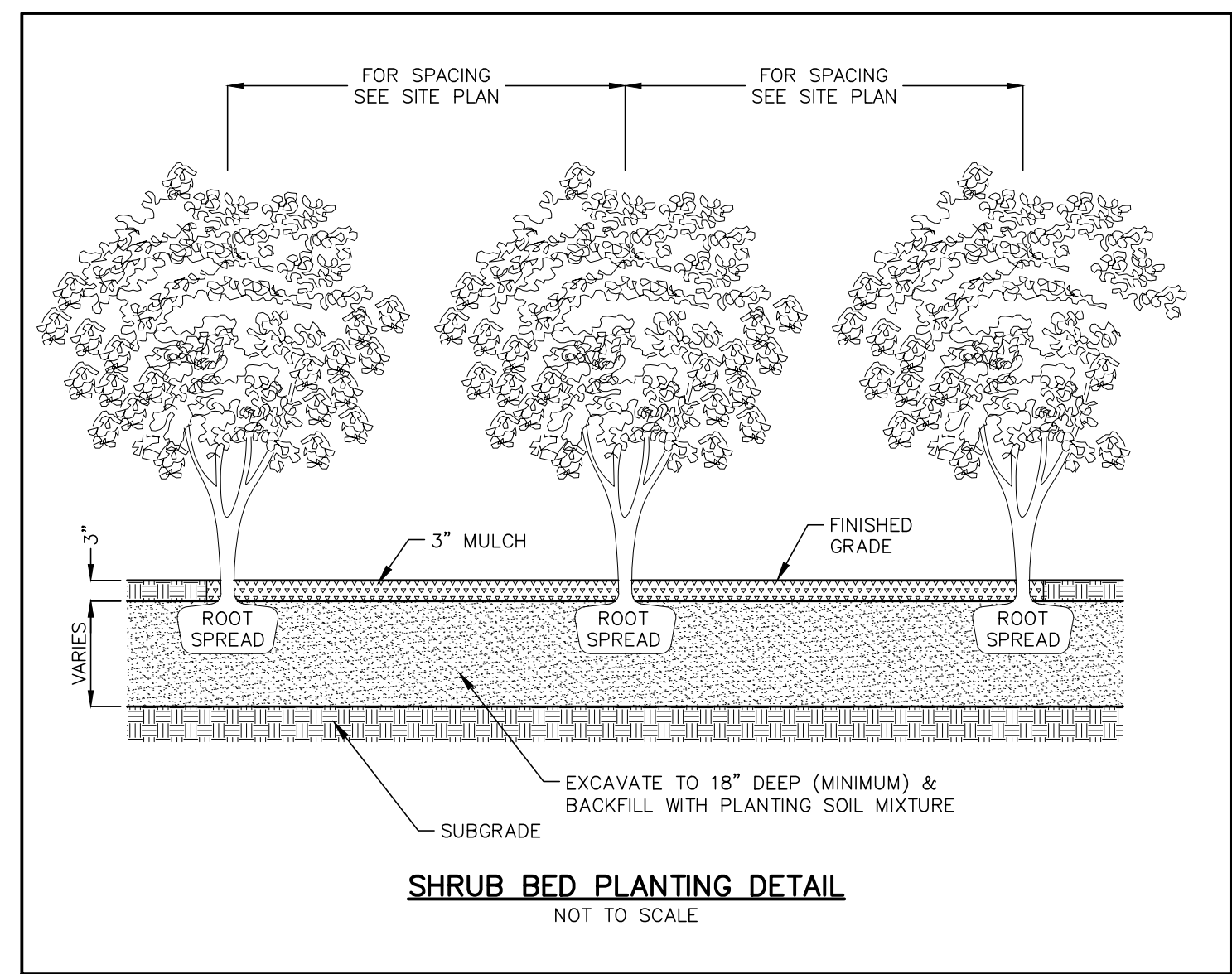


Matthew J. Cholewa





**FOR PRELIMINARY REVIEW - NOT FOR CONSTRUCTION**



APPROVED BY THE WETHERSFIELD  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

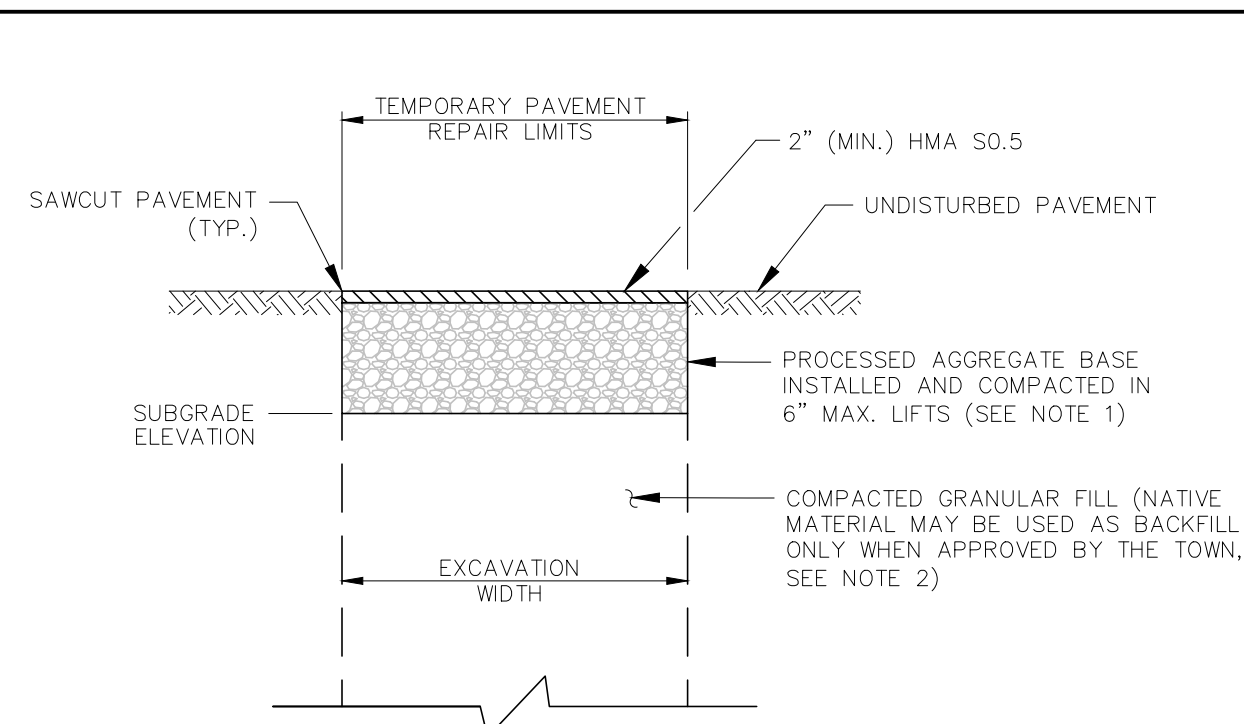
PLAN PREPARED BY:  
INDIGO LAND DESIGN, LLC  
JOSEPH WREN, P.E.  
CT REG. NO. 21090  
200 W. MAIN STREET, 2ND FLOOR  
WETHERSFIELD, CT 06475  
PHONE: (860) 388-9343  
WEB: INDIGO-LAND.COM

THE EMBOSSED SEAL OF  
THE PROFESSIONAL SOCIETY  
AFFIXED HERE FOR THIS  
MAP TO BE VALID

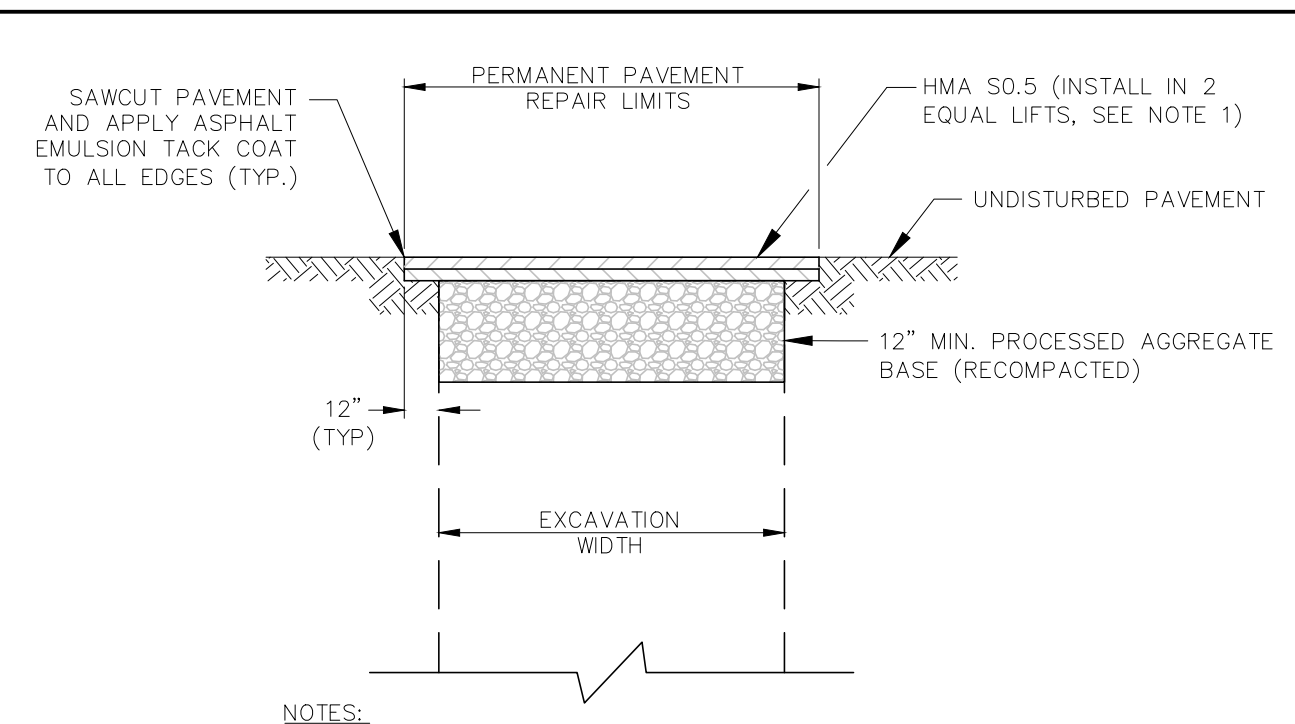
#	DATE	DESCRIPTION	RM	BY
1	11/4/2025	MINOR REVISIONS PER HISTORICAL SOCIETY	RM	BY

**CONSTRUCTION DETAILS**  
PREPARED FOR NICHOLAS ROMAN  
245 MAIN STREET, MAP 248 LOT 10  
WETHERSFIELD, CONNECTICUT

DATE: OCTOBER 14, 2025  
SCALE: AS NOTED  
DRAWN BY: RM  
CHECKED BY: JW  
DWG. NO.: CD-1  
SHEET NO.: 2 of 4  
JOB NO.: 2025-1216



- NOTES:
1. PROCESSED AGGREGATE BASE SHALL BE INSTALLED TO PROVIDE 12" MIN. THICKNESS BELOW THE BOTTOM OF THE EXISTING PAVEMENT SECTION.
  2. WHEN REQUIRED BY THE TOWN, THE CONTRACTOR SHALL SUBMIT TEST RESULTS CONFIRMING THAT COMPACTION OF THE TOTAL TRENCH AREA MEETS 95% COMPACTED DENSITY.
  3. TEMPORARY PAVEMENT REPAIRS SHALL BE INSTALLED AND REMAIN IN PLACE FOR A MINIMUM OF NINETY (90) DAYS BEFORE PERMANENT REPAIRS ARE COMPLETED.
  4. ALL JOINTS BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SEALED WITH A LIQUID BITUMINOUS CONCRETE SEALER.
  5. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CTDOT FORM 819 STANDARDS.

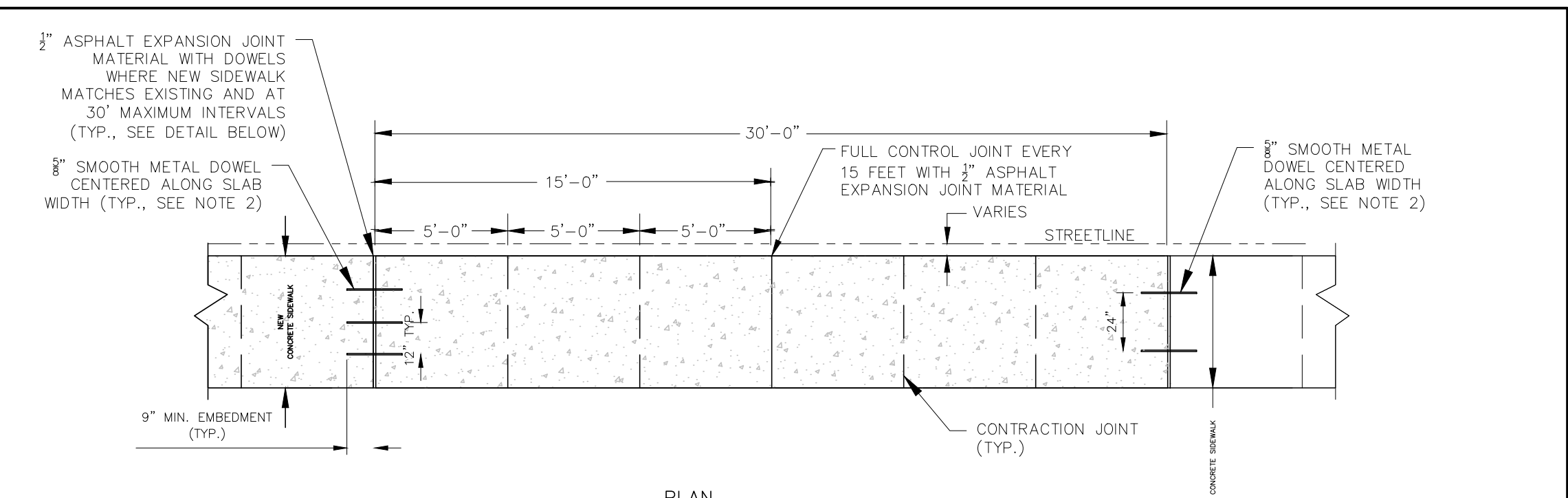


- NOTES:
1. NEW PAVEMENT SHALL MATCH EXISTING PAVEMENT THICKNESS OR BE INSTALLED WITH A 4" MIN. THICKNESS, EXCEPT FOR MAJOR TOWN ROADS LISTED ON THIS SHEET WHERE A 5" MIN. PAVEMENT THICKNESS IS REQUIRED.
  2. TEMPORARY PAVEMENT REPAIRS SHALL REMAIN IN PLACE FOR A MINIMUM OF NINETY (90) DAYS BEFORE PERMANENT REPAIRS ARE COMPLETED.
  3. ALL JOINTS BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SEALED WITH A LIQUID BITUMINOUS CONCRETE SEALER.
  4. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CTDOT FORM 819 STANDARDS.

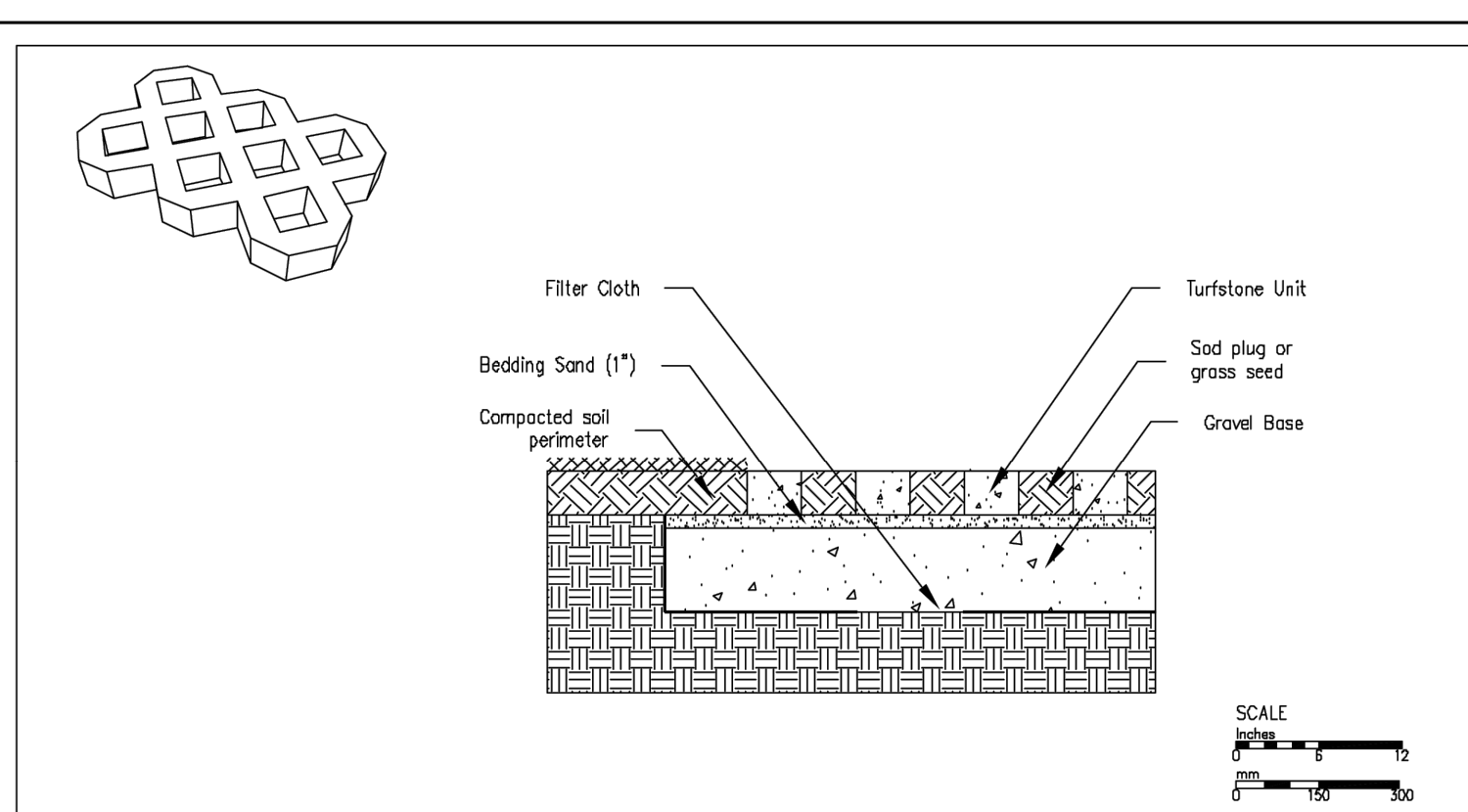
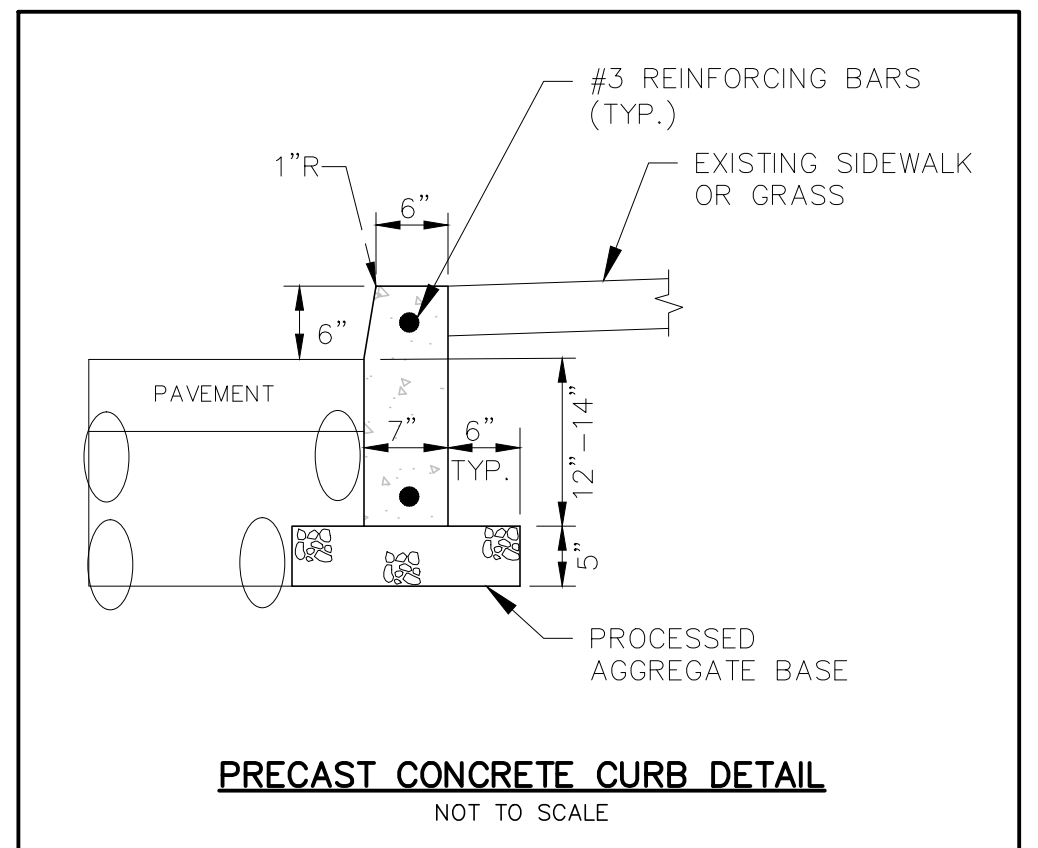
**TEMPORARY TRENCH REPAIR DETAIL**  
NOT TO SCALE

**PERMANENT TRENCH REPAIR DETAIL**  
NOT TO SCALE

NOTE:  
INCLUDE MAJOR ROAD LIST W/ THIS DETAIL

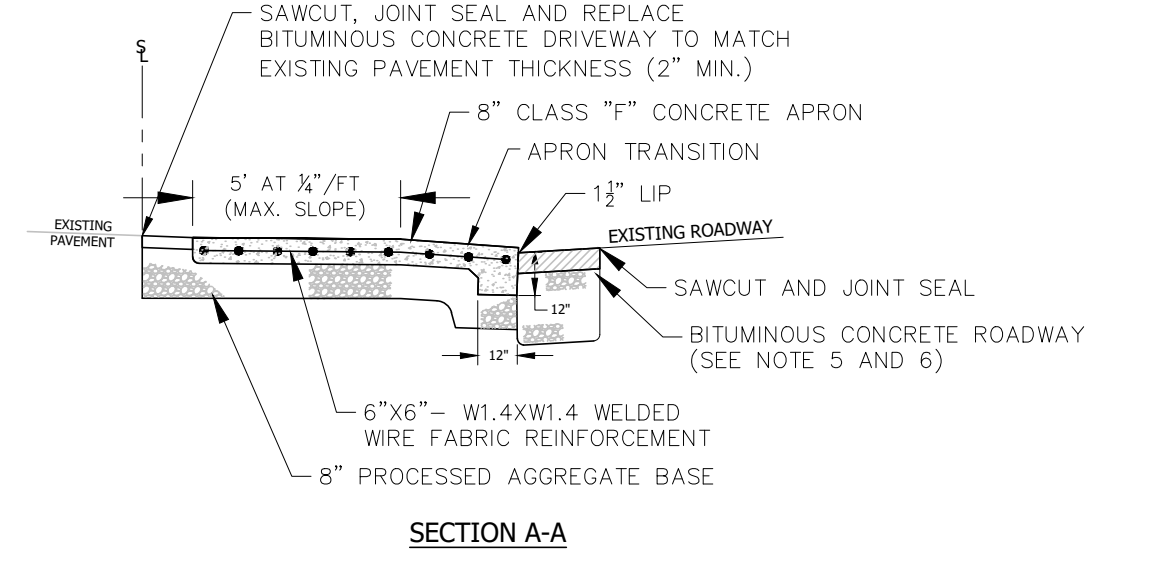
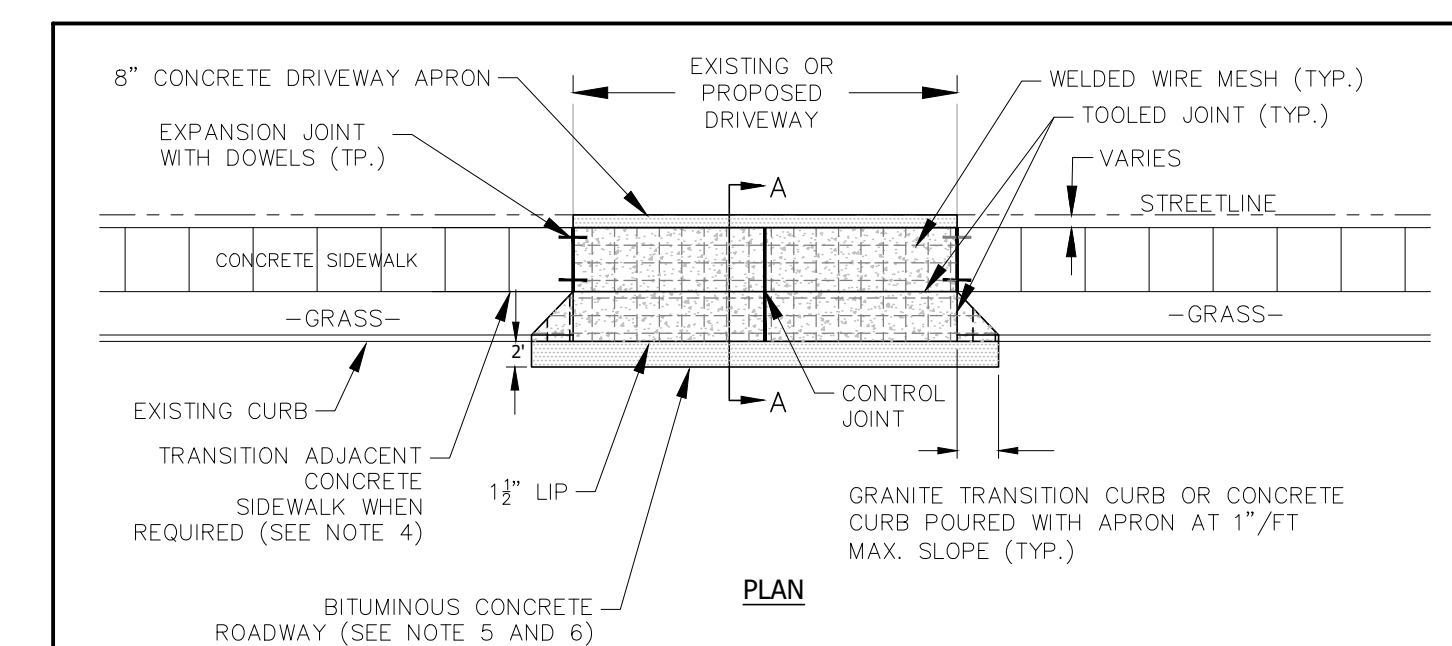


- NOTES:
1. NO UTILITY POLES, SIGNS OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN THE LIMITS OF NEW 5" OR 8" CONCRETE SIDEWALK.
  2. DOWELS SHALL BE DIPPED IN LIQUID ASPHALT AND AN APPROVED BOND BREAKER OR PLASTIC SLEEVE MUST BE PROVIDED ON ONE SIDE OF THE JOINT PRIOR TO INSTALLATION.
  3. LIMITS OF DISTURBANCE TO ADJACENT LAWN AREAS AND DRIVEWAYS SHALL BE MINIMIZED DURING CONSTRUCTION.
  4. REINFORCED CONCRETE SIDEWALK MUST BE INSTALLED ACROSS ALL DRIVEWAYS TO ACCOMMODATE VEHICLE LOADS. SEE BITUMINOUS CONCRETE DRIVEWAY APRON DETAIL FOR ASSOCIATED REQUIREMENTS.
  5. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CTDOT FORM 819 STANDARDS.



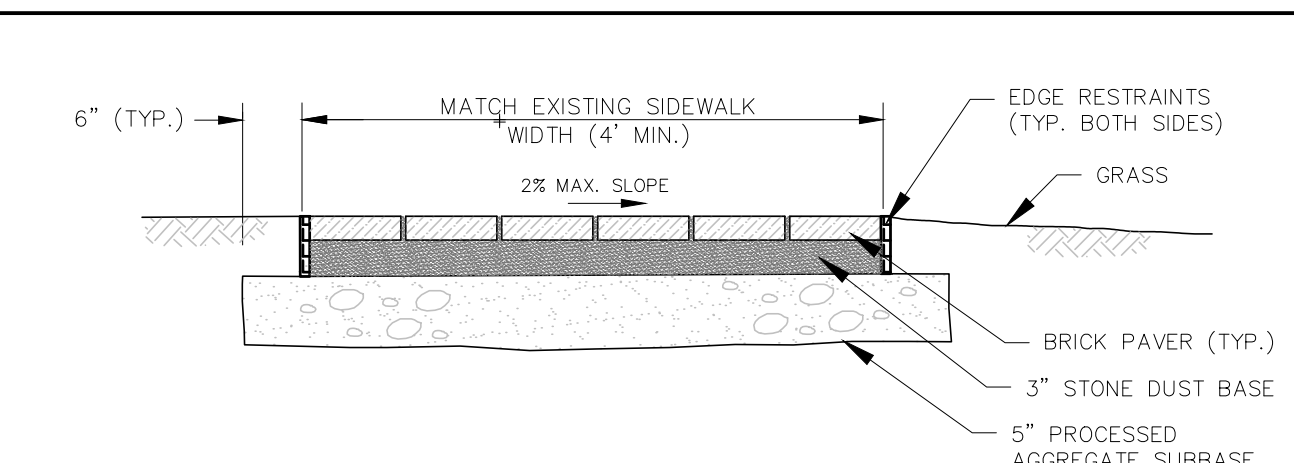
CREATED:	January 17, 2018
REVISED:	
FILE NAME:	TSDET001.DWG

- NOTES:
1. ALL TURFSTONE UNITS SHALL BE H-20 RATED.
  2. GRAVEL BASE SHALL CONFORM TO THE SPECIFICATIONS SHOWN IN THE "TYPICAL PAVEMENT DETAIL" ON SHEET 2 OF 4.
- UNILOCK TURFSTONE PAVEMENT DETAIL**  
NOT TO SCALE



- NOTES:
1. SEE RESPECTIVE DETAILS FOR CONCRETE SIDEWALK AND CURB REQUIREMENTS.
  2. REINFORCED CONCRETE SIDEWALK MUST BE INSTALLED ACROSS DRIVEWAY LIMITS TO ACCOMMODATE VEHICLE LOADS. REFER TO ASSOCIATED DETAIL FOR ADDITIONAL INFORMATION.
  3. TOTAL HEIGHT OF LIP AND APRON TRANSITION SHALL BE 3" MAXIMUM ABOVE THE ROAD GUTTER. WHEN REQUIRED, REPLACE ADJACENT CONCRETE SIDEWALK SLABS AT 5% MAXIMUM SLOPE AS DIRECTED BY THE TOWN.
  4. NEW PAVEMENT SHALL MATCH EXISTING PAVEMENT THICKNESS OR BE INSTALLED WITH A 4" MIN. THICKNESS, EXCEPT FOR MAJOR TOWN ROADS LISTED ON THIS SHEET WHERE A 5" MIN. PAVEMENT THICKNESS IS REQUIRED.
  5. PROCESSED AGGREGATE BASE SHALL BE INSTALLED TO PROVIDE 12" MIN. THICKNESS BELOW THE BOTTOM OF THE EXISTING PAVEMENT SECTION.
  6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CTDOT FORM 819 STANDARDS.

**CONCRETE DRIVEWAY APRON DETAIL**  
NOT TO SCALE



- NOTES:
1. POLYMERIC SAND SHALL BE INSTALLED BETWEEN ALL JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THE SURFACE SHALL BE SWEEPED. POLYMERIC SAND SHALL BE FLEXLOCK AS MANUFACTURED BY NEW ENGLAND SILICA INC., 1370 JOHN FITCH BOULEVARD, P.O. BOX 185, SOUTH WINDSOR, CT (860-289-7778, NEWENGLANDSILICA.COM) OR APPROVED EQUAL.
  2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CTDOT FORM 819 STANDARDS.

**BRICK PAVEMENT SIDEWALK DETAIL**  
NOT TO SCALE

**FOR PRELIMINARY REVIEW - NOT FOR CONSTRUCTION**

PLAN PREPARED BY:  
INDIGO LAND DESIGN, LLC  
JOSEPH WREN, P.E.  
CT REG. NO. 21090  
100 S. MAIN STREET, 2ND FLOOR  
WETHERSFIELD, CT 06475  
PHONE: (860) 388-9343  
WEB: INDIGO-LAND.COM

THE EMBOSSED SEAL OF  
MINOR REVISIONS PER HISTORICAL SOCIETY  
APPLIED HERE FOR THIS  
MAP TO BE VALID

#	DATE	DESCRIPTION	RM	BY
1	11/4/2025			

**CONSTRUCTION DETAILS CONTINUED**  
PREPARED FOR NICHOLAS ROMAN  
245 MAIN STREET, MAP 248 LOT 10  
WETHERSFIELD, CONNECTICUT

DATE:  
OCTOBER 14, 2025  
SCALE:  
AS NOTED  
DRAWN BY:  
RM  
CHECKED BY:  
JW  
DWG. NO.:  
CD-2  
SHEET NO.:  
3 of 4  
JOB. NO.:  
2025-1216

APPROVED BY THE WETHERSFIELD  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

AREA & ROADWAY LIGHTING

**COLONIAL**®  
4-SIDED TRADITIONAL LANTERN

**Luminaire**  
Heavy cast corrosion resistant low copper aluminum (A356 alloy, <0.2% copper) traditionally styled housing and top. Minimum wall thickness is .188". Top hinges for easy access. Silicone gasket between housing and hood. Four piece clear patterned acrylic lenses, or opal white acrylic lenses provided. All hardware is stainless steel.

**Diffuser**  
No Lens Open Frame is standard. Option of Clear Patterned Acrylic (CPA) or White Acrylic (WA) Lens Panels. Lenses are mechanically fastened to the frame and sealed with closed cell silicone gasketing.

**PLED™ Optics**  
Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side, maximizing usable light. Optional house side shields are available that cover each individual optic. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard site/area distributions. Panels are field replaceable and field rotatable in 90° increments. Quick-disconnects are provided above each panel for fast field replacement. No lens fixture option will provide "10" no uplight optical package.

**Ambiance Low Lumiance Lens**  
Optional Ambiance Lens (AL) provides low lumiance reduced glare distributions. Lens diffuses the PLED Optics and provides a more uniform lumiance across the aperture reducing glare at all angles. Lens is provided with an aluminum frame and is sealed to the housing with high temp gasketing.

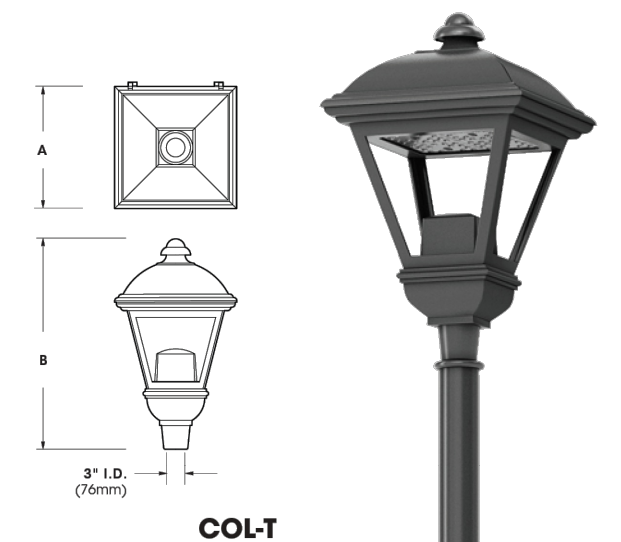
**LED Emitters**  
High Power White LED's are driven between 350mA and 875mA for a maximum output of 2.5 Watts nominal. LED's are available in standard Neutral White (4000K), Cool White (5000K), or Warm White (2700K & 3000K). All Standard LED's have a minimum of 70 CRI. Consult Factory for other LED options. Lumen Maintenance of L94 at 60,000 hours (TM-21 calculated at 6x Test Time).

**True Amber LED's** TRA-True Amber LED's emit light in the amber spectral bandwidth centered on 585-590nm. True Amber has negligible blue light and is suitable for wildlife.

**LED Driver**  
Constant current electronic with a power factor of >90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0-10V dimmable driver is standard). Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field installation.)

**Finish**  
Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

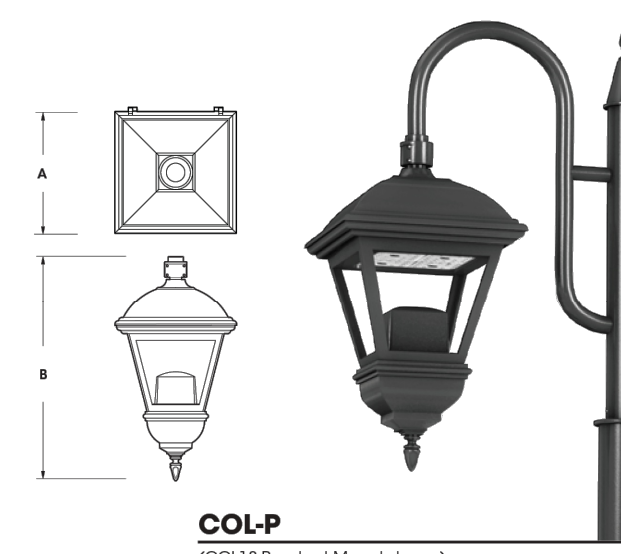
PROJECT NAME: 245 MAIN STREET  
PROJECT TYPE: OLD WETHERSFIELD, CT  
PT2S



**COL-T**  
(COL21 Torson Mount shown)

FIXTURE	A	B
COL21-T	21" (533mm)	35" (889mm)
COL18-T	18" (457mm)	31" (787mm)
COL12-T	12" (305mm)	22" (559mm)

Filter supplied to fit over 2" X 3" (51mm X 76mm) lens.



**COL-P**  
(COL18 Pendant Mount shown)

FIXTURE	A	B
COL21-P	21" (533mm)	36" (914mm)
COL18-P	18" (457mm)	32" (813mm)
COL12-P	12" (305mm)	24" (609mm)

UL Listed for Wet Location 2022238  
MADE IN THE USA  
SUN VALLEY LIGHTING

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**SUN VALLEY LIGHTING**

SOLID STATE LIGHTING  
**COLONIAL**  
WALL MOUNT - PLED

**Fixture Housing**  
Hub, Cage, and Top (Hood) consist of cast low copper (A356 alloy; <0.2% Cu) aluminum. Hood is fastened to the top of the Cage with a stainless steel hinge and secured with a single stainless steel hex head cap screw 180° opposite the hinge. Hood and Cage are sealed with an extruded closed cell silicone gasket. Cage is welded to the Hub with blended or concealed weldments to create an open frame appearance. Driver/wiring accessed through top of Electrical Access Hub. All exposed hardware is stainless steel. Optical Assembly secures in Hood.

**Arm**  
One piece uniform arm and Wall Mount plate consisting of cast low copper (A356 alloy; <0.2% Cu) aluminum. Arm is welded to the Wall Mount plate and entire Arm/Wall Mount assembly is either welded to the COL12 Hood (WM-P) or mechanically fastened to the Hub (WM-T). All welds are blended to create a homogeneous appearance. Wall Mount plate affixed to mounting surface covering a recessed j-box.

**PLED™ Optics**  
Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. LED refractors produce standard asymmetric site/area distributions. Panels are field replaceable and field rotatable in 90° increments.

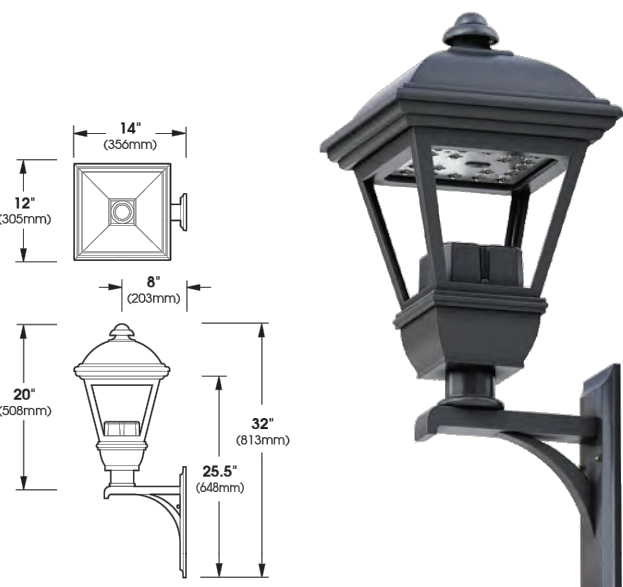
**LED Driver(s)**  
Constant current electronic with a power factor of >90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0-10V dimmable driver is standard). Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

**LED Emitters**  
High output LED's are utilized with drive currents ranging from 175mA to 525mA. 70CRI Minimum. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

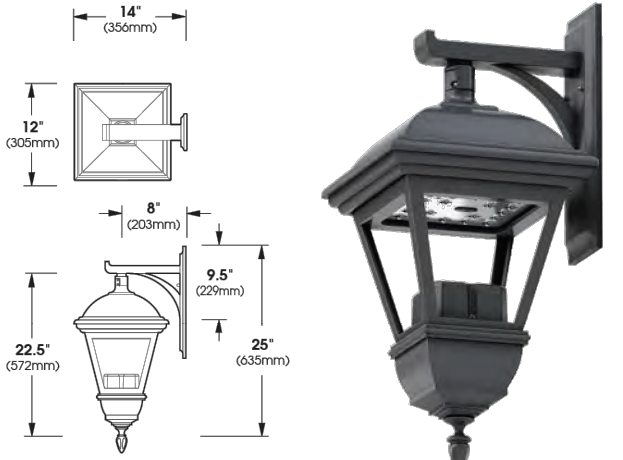
**Amber LED's**  
PCA (Phosphor Converted Amber) LED's utilize phosphors to create color output similar to LPs lamps and have a slight output in the blue spectral bandwidth. TRA (True Amber) LED's utilize material that emits light in the amber spectral bandwidth only without the use of phosphors.

**Finish**  
Super TGIC polyester powder coating is applied onto a metal substrate this has been pretreated with a four-stage process for maximum adhesion and color retention. The top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: 245 MAIN STREET  
PROJECT TYPE: OLD WETHERSFIELD, CT  
WMA5



COL12/XCA-UT (Post Top Mount)



COL12/XCA-UP (Pendant Mount)

UL Listed for Wet Location 2023010  
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SUN VALLEY LIGHTING

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**U.S. ARCHITECTURAL LIGHTING**

ROUND NON-TAPERED STEEL POLE

RNTS

**Shaft**  
Round, fabricated from high grade structural steel tube. Shaft conforms to ASTM-A501-68 specifications. Meets or exceeds minimum yield strength of 46,000 P.S.I. Wall thickness 11 GA. (120 wall) or 7 GA. (180 wall) as specified. Shaft is furnished with ground lug located inside pole on wall opposite hand hole.

**Drilling Side Mount**  
A removable pole cap is included. Pole will be drilled to match U.S. Architectural fixtures. For other Drilling required, please specify DP after specified drill pattern. (example: 2-180DP)

**Pole Top Mount**  
Standard pole top mount - PT27, fabricated from 2.5" (2.875" O.D.) steel pipe - tenon options available for pole tops please see Mounting column. For other pole top configurations please consult factory.

**Hand Hole Cover**  
Steel Poles 15 feet and above - Supplied with reinforced steel 2 5/8" x 4 5/8" access opening. Hand Hole provided with rectangular 3"x6" stamped heavy gauge aluminum material. Sealed door is secured by a formed aluminum bar and a stainless steel, tamper proof screw.

**Poles under 15 feet** - Rectangular 3"x6" stamped heavy gauge aluminum material. 2 1/4" x 4 1/4" access opening. Sealed door is secured by a formed aluminum bar and a stainless steel, tamper proof screw.

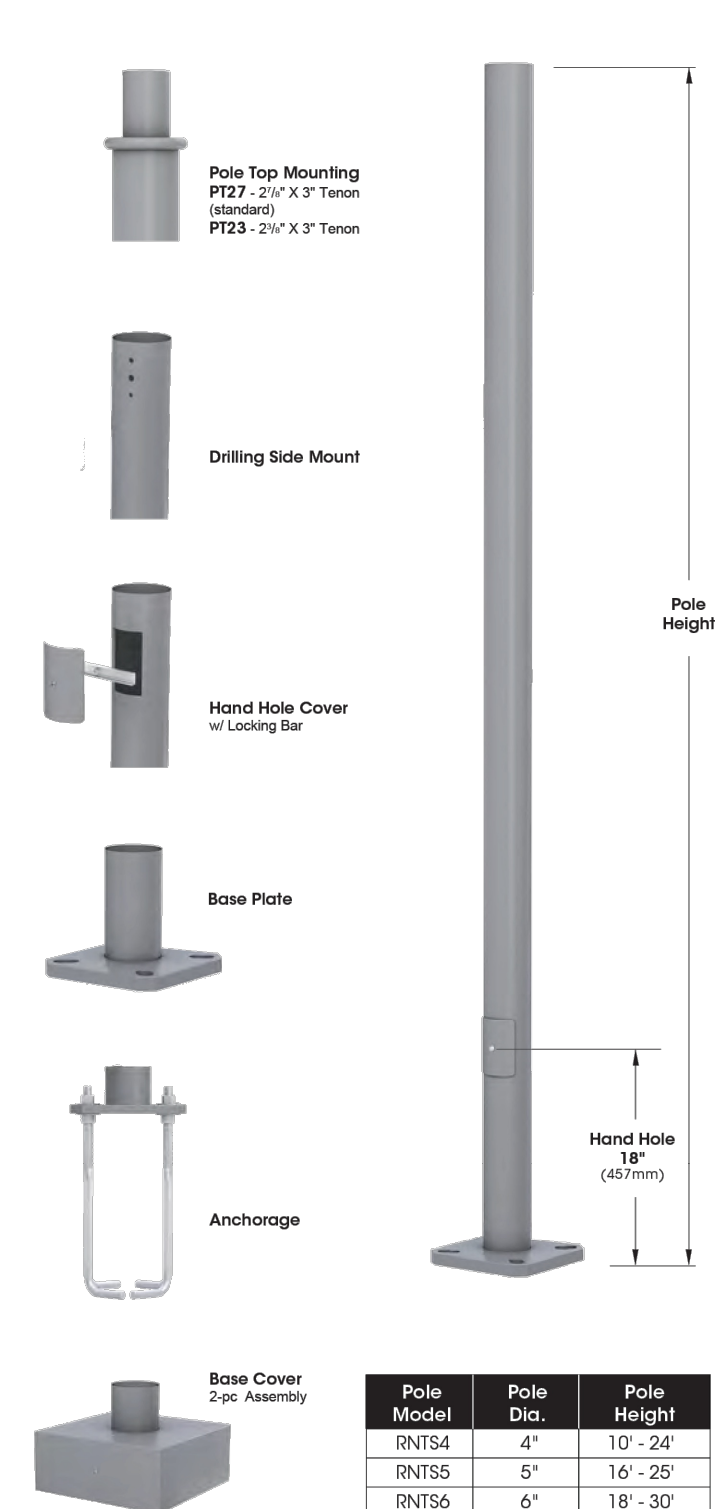
**Base Plate**  
Fabricated from structural quality hot rolled steel. Meets or exceeds minimum yield strength of 36,000 P.S.I. Base telescopes and is circumferentially welded to pole shaft. Slotted bolt holes provide 1" flexibility on either side of bolt circle centerline.

**Anchorage**  
(4) anchor bolts fabricated from hot rolled steel bar. Minimum yield strength of 50,000 P.S.I. Bolts have "L" bend on one end and are threaded on the other. Bolts are fully galvanized and are furnished with two nuts and two washers.

**Base Cover**  
Fabricated from heavy gauge quality carbon steel. Two-piece cover conceals base.

**Finish**  
Electrostatically applied TGIC Polyester Powder Coat on a substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

PROJECT NAME: 245 MAIN STREET  
PROJECT TYPE: OLD WETHERSFIELD, CT  
10FT POLE



Pole Model	Pole Dia.	Pole Height
RNTS4	4"	10' - 24'
RNTS5	5"	16' - 26'
RNTS6	6"	18' - 30'

2023307

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COL SERIES - PLED

SPECIFICATIONS

EPA & WEIGHT

No Lens	w/ Clear Prismatic Acrylic Lens	w/ White Acrylic Lens	w/ Ambiance Low Lumiance Lens
<p><b>COL21-P</b> Max Weight = 57 lbs Max E.P.A. = 1.93 80 LED Max</p>	<p><b>COL21-PCPA</b> Max Weight = 60 lbs Max E.P.A. = 2.93 80 LED Max</p>	<p><b>COL21-PWA</b> Max Weight = 60 lbs Max E.P.A. = 2.93 80 LED Max</p>	<p><b>COL21-PAL</b> Max Weight = 57 lbs Max E.P.A. = 1.93 80 LED Max</p>
<p><b>COL18-T</b> Max Weight = 58 lbs Max E.P.A. = 2.03 80 LED Max</p>	<p><b>COL18-PCPA</b> Max Weight = 61 lbs Max E.P.A. = 3.02 80 LED Max</p>	<p><b>COL18-PWA</b> Max Weight = 61 lbs Max E.P.A. = 3.02 80 LED Max</p>	<p><b>COL18-TAL</b> Max Weight = 58 lbs Max E.P.A. = 2.03 80 LED Max</p>
<p><b>COL12-P</b> Max Weight = 51 lbs Max E.P.A. = 1.55 48 LED Max</p>	<p><b>COL12-PCPA</b> Max Weight = 54 lbs Max E.P.A. = 2.30 48 LED Max</p>	<p><b>COL12-PWA</b> Max Weight = 54 lbs Max E.P.A. = 2.30 48 LED Max</p>	<p><b>COL12-PAL</b> Max Weight = 51 lbs Max E.P.A. = 1.55 48 LED Max</p>
<p><b>COL18-T</b> Max Weight = 52 lbs Max E.P.A. = 1.80 48 LED Max</p>	<p><b>COL18-PCPA</b> Max Weight = 55 lbs Max E.P.A. = 2.35 48 LED Max</p>	<p><b>COL18-PWA</b> Max Weight = 55 lbs Max E.P.A. = 2.35 48 LED Max</p>	<p><b>COL18-TAL</b> Max Weight = 52 lbs Max E.P.A. = 1.80 48 LED Max</p>
<p><b>COL12-P</b> Max Weight = 38 lbs Max E.P.A. = 0.81 20 LED Max</p>	<p><b>COL12-PCPA</b> Max Weight = 38 lbs Max E.P.A. = 1.13 20 LED Max</p>	<p><b>COL12-PWA</b> Max Weight = 38 lbs Max E.P.A. = 1.13 20 LED Max</p>	N/A
<p><b>COL12-T</b> Max Weight = 34 lbs Max E.P.A. = 0.90 20 LED Max</p>	<p><b>COL12-PCPA</b> Max Weight = 36 lbs Max E.P.A. = 1.12 20 LED Max</p>	<p><b>COL12-PWA</b> Max Weight = 36 lbs Max E.P.A. = 1.12 20 LED Max</p>	N/A

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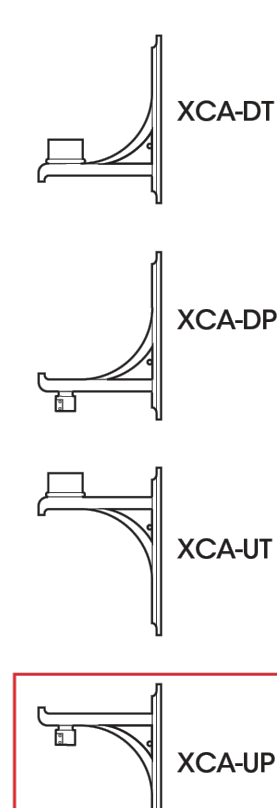
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**SUN VALLEY LIGHTING**

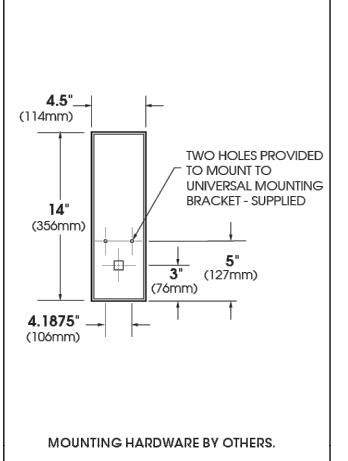
COL-WM SERIES - LED

SPECIFICATIONS

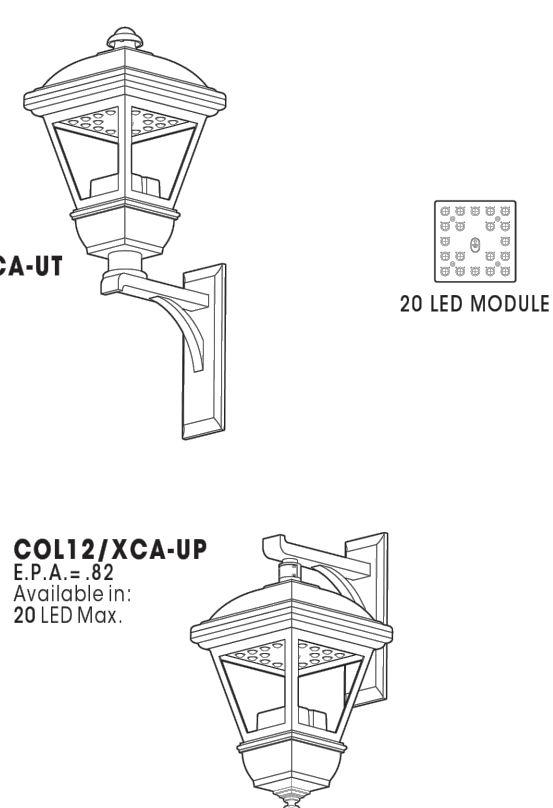
MOUNTING OPTIONS



WALL PLATE



PLED™ MODULES



ORDERING INFORMATION

Luminaire & Mounting	Options	# of LED's	Drive Current	Color Temp./CCT	Voltage	Finish	Options
COL12XC	PLED-IV	20LED	175mA	WW	VOLT	FINISH	HS-PLED
COL12/XCA-DT	PLED-II	20LED	175mA	WW	120	BLACK RAL-9005-T	HOUSE SIDE SHIELDS - HS-PLD
COL12/XCA-DP	PLED-II-FR	20LED	175mA	WW	208	WHITE RAL-9003-T	HIGH/LOW DIMMING (0-10V) SWITCHING OR NON-INTEGRATED MOTION SENSOR
COL12/XCA-UT	PLED-III	20LED	450mA	WW	240	GREY RAL-7004-T	PHOTO CELL + VOLTAGE (EXAMPLE: PC120V) - PC-V
COL12/XCA-UP	PLED-III-W	20LED	450mA	WW	277	DARK BRONZE RAL-8019-T	SINGLE FUSE (120V, 277V) - SF
	PLED-IV	20LED	525mA	WW	347	GREEN RAL-6005-T	DOUBLE FUSE (200V, 240V) - DF
	PLED-IV-FT	20LED	525mA	WW	480		

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SUN VALLEY LIGHTING

FOR PRELIMINARY REVIEW - NOT FOR CONSTRUCTION

APPROVED BY THE WETHERSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

PLAN PREPARED BY:  
INDIGO LAND DESIGN, LLC  
JOSEPH WREN, P.E.  
CT REG. NO. 21090  
200 MAIN STREET, 2ND FLOOR  
OLD BRIDGE, CT 06475  
PHONE: (860) 388-9343  
WEB: INDIGO-LAND.COM

THE EMBOSSED SEAL OF THE SOCIETY OF PROFESSIONAL ENGINEERS IS AFFIXED HERE FOR THIS MAP TO BE VALID

#	DATE	DESCRIPTION	BY	RM
1	11/4/2025	MINOR REVISIONS PER HISTORICAL SOCIETY		

LIGHTING DETAILS  
PREPARED FOR NICHOLAS ROMAN  
245 MAIN STREET, MAP 248 LOT 10  
WETHERSFIELD, CONNECTICUT

DATE: OCTOBER 14, 2025  
SCALE: AS NOTED  
DRAWN BY: RM  
CHECKED BY: JW  
DWG. NO.: LD-1  
SHEET NO.: 4 of 4  
JOB NO.: 2025-1216



# PLANNING AND ZONING COMMISSION MINUTES

*Tuesday, January 6, 2026*

*7:00 PM*

*Town Council Chambers, 505 Silas Deane Highway*

## 1. CALL TO ORDER

Chairman Hammer called the meeting to order, welcoming all to the Planning & Zoning Commission meeting, and asked Clerk Homicki to begin roll call.

### 1.1 ROLL CALL & SEATING OF ALTERNATES *(5 members required for a quorum)*

Member Name	Present	Absent
Joseph Hammer, Chairman	X	
Peter Leombruni, Vice Chairman	X	
Anthony Homicki, Clerk	X	
Christopher Brechlin	X	
Thomas Dean	X	
David Drake		X
David Edwards	X	
Richard Roberts	X	
Tracy Gionfriddo	X	
<b>Alternates:</b>	--	--
Paul Thompson	X	
Joe Ercolani		X
Anna Laurie		X

**Also Present:** Town Planner, David Elder and members of the public.

Chairman Hammer noted that there were eight (8) members and one (1) alternate in attendance. He stated with all eight (8) members voting alternate Commissioner Thompson also voting that makes nine the total (9). Chairman Hammer explained the process and procedures of the meeting, along with the procedures of a public hearing.

## 2. OLD BUSINESS

**2.1 Special Permit/Change of Use, #2225-25Z**, 184 Main Street, per Sections 10.1.C,D,E, and 6.2.C, D Conversion of Bed and Breakfast to Restaurant with Outdoor Seating, and Parking Reduction and Modification, 6.2.C, D, Submitted by 3E Main LLC.

Attorney Brian Silver, Silver & Silver LLP, New Britain, CT, representing the applicant, appeared on the record. Attorney Silver stated his address as 23 Johnna Lane, Wethersfield, and noted he has been a Wethersfield resident for approximately 50 years.

Also present:

**Erigela Kroi**, principal of 3E Main LLC and property owner

**Joel Raphael**, Project architect

**Ozzie Torres, P.E.**, Project engineer

Attorney Silver summarized the application, stating:

- The proposal seeks to convert 184 Main Street, located in the Village Business District, from a commercial bed and breakfast to a full-service restaurant offering upscale southern Italian cuisine
- Proposed hours of operation: 11:30 a.m. to 10:00 p.m., seven days per week.
- The property is located in the Historic District and has received Historic District Commission (HDC) approval following multiple meetings and revisions.
- Exterior improvements are minimal and preserve the historic character of the building
- The restaurant is compatible with nearby uses, including other restaurants, businesses, and municipal facilities

Attorney Silver stated that the building had previously been approved for commercial use as a bed and breakfast and that the restaurant would continue food preparation and service, without overnight lodging.

Attorney Silver addressed parking issues, stating:

- The zoning requirement would require 60 parking spaces, including employee parking
- The site contains three on-site accessible parking spaces
- The applicant is requesting a parking waiver pursuant to Section 6.2D5
  - The property is adjacent to:
    - Keeney Memorial Center (approximately 100 public parking spaces)
    - Firehouse parking lot (approximately 28 public spaces)
  - On-street parking in the Village Business District totals approximately 232 spaces.

Attorney Silver noted that the Town has conceptual, unfunded plans to expand both parking areas.

Photographs of the Keeney Center parking lot taken on Friday and Saturday evenings were referenced and provided in the application materials.

The applicant proposed constructing, at the applicant's expense, a pedestrian pathway connecting the Keeney parking area to the restaurant for safer pedestrian access.

Attorney Silver further stated that:

- A written lease exists at 383 Silas Deane Highway for employee parking
- Employees would be shuttled to and from the site
- Employees would not park on-site or in public parking areas

Commission members questioned the applicant regarding:

- Required versus proposed parking

- Pedestrian circulation and access points
- Seating capacity and employee count
- Patio seating and lighting
- Outdoor dining hours
- Delivery services, catering, and entertainment
- Dumpster location and refuse collection
- Snow removal responsibilities
- Shuttle operations and lease details
- Lighting type, location, and lumen levels
- Screening and fencing between the site and abutting residential properties
- Fire Marshal and Town Engineer comments
- Conceptual nature of Town parking expansion plans

Responses included:

- Seating totals of 110 interior seats and 28 outdoor seats, for 138 total seats
- Maximum staffing of approximately 15–17 employees during peak periods
- No proposed entertainment or catering
- Takeout permitted; delivery services not currently proposed
- Patio to operate until 10:00 p.m.
- Lighting consists of low-level bollards approved by the HDC
- A 6-foot wooden fence approved by HDC along the property line
- Willingness to consider additional buffering subject to HDC approval
- Refuse pickup once per week, using appropriately sized vehicles
- Willingness to consider contributions to public parking maintenance

Town staff noted that:

- Revised site plans had been submitted
- The Town Engineer had not yet reviewed the revisions
- Fire Marshal comments were received the day of the meeting
- Staff review was incomplete due to timing of submissions

Chairman Hammer opened the floor to public comment. The following individuals spoke:

**Robert O'Connor, 180 Main Street**, spoke in opposition to the application. Mr. O'Connor stated that his property directly abuts 184 Main Street and that multiple adjacent residences share property boundaries with the site. He grounded his comments in Article 8 of the Wethersfield Zoning

Regulations, emphasizing that a special permit may only be granted if the Commission can make specific affirmative findings, including that the proposal will not adversely affect neighboring properties, will not impair public health, safety, or welfare, will not create excessive noise, traffic, odor, or disturbance, and is compatible with neighborhood character.

Mr. O'Connor stated that the proposed restaurant represents a substantial increase in intensity compared to the prior bed-and-breakfast use, noting that the proposal increased from approximately 110 seats to 138 seats, which he characterized as a significant escalation. He stated that a restaurant of this size would generate constant traffic circulation, curbside loading, staff arrivals and departures, deliveries, trash handling, mechanical noise, and late-night activity, all of which would directly impact surrounding residences. Mr. O'Connor raised concerns regarding parking and circulation, including ADA parking spaces located immediately adjacent to residential properties, increased headlight glare, idling engines, and exhaust emissions. He referenced comments from the Town Engineer regarding potential driveway widening and two-way traffic, which he stated would increase safety conflicts in an area heavily used by pedestrians, cyclists, and visitors.

He also raised concerns regarding fire safety and emergency access, noting the proximity of the fire station across the street, posted no-parking zones, and an active bus stop near the site. Mr. O'Connor stated that increased drop-offs, shuttles, and potential food delivery services could interfere with emergency access and sightlines. Mr. O'Connor further stated that the proposal would result in a loss of residential privacy, citing the close proximity of the building and driveway—approximately 20 feet or less from neighboring homes—and a lack of meaningful buffering or screening. He stated that foot traffic and sightlines would expose private living spaces, bedrooms, and yards.

Mr. O'Connor also raised a procedural concern regarding the site plan, stating that the plan appeared to rely on an older survey and that a recent professional survey of his property indicated that portions of the paved driveway may encroach onto his deeded property. He stated that his intent was not to raise a property dispute, but to caution that the Commission should ensure it is reviewing an accurate and legally viable site plan.

Additional concerns raised by Mr. O'Connor included mechanical equipment noise, kitchen exhaust emissions, air quality impacts, trash storage, rodent risk, and the enforceability of employee shuttle parking arrangements. He stated that selective photographs of parking availability did not reflect peak demand conditions and requested that the Commission require traffic and parking studies. Mr. O'Connor concluded by requesting denial of the special permit, stating that the application failed to meet multiple Article 8 standards.

**Kristine Lisella, 37 Belmont Street**, spoke in opposition. Ms. Lisella stated that she is a longtime resident of Old Wethersfield and has worked on Main Street for several decades. She emphasized that she was not opposed to business development but expressed concern that Main Street has become increasingly congested and lacks a finalized, funded parking plan.

Ms. Lisella stated that while parking expansion concepts have been discussed for the Kenney Memorial Center and firehouse, no commitments or approvals have been finalized. She expressed concern that approving additional restaurant uses without secured parking would exacerbate congestion and safety risks, particularly during winter conditions when streets narrow due to snow. She also emphasized that Old Wethersfield is a mixed-use residential neighborhood, not a downtown or restaurant district, and stated that safety—particularly fire department access—should be a primary consideration. She urged the Commission to pause additional approvals until a comprehensive parking solution is implemented.

**Heidi Heller, 172–176 Main Street, owner of the Robin Sisters House**, spoke in opposition. Ms. Heller stated that her property is a four-family residential building that she and her husband restored over many years and that it represents both her home and her tenants' homes. Ms. Heller stated that

she is not opposed to restaurants generally, but expressed concern about the scale and intensity of the proposed restaurant, particularly its proximity to existing homes. She described the cumulative impacts of employee shifts, deliveries, trash removal, mechanical systems, late-night departures, and vehicle turnover.

Ms. Heller emphasized loss of privacy, insufficient buffering, mechanical noise, exhaust, trash handling, rodent risk, and enforcement challenges. She stated that enforcement often becomes complaint-driven, placing the burden on residents. She also noted that seasonal impacts would be greatest during warmer months when windows are open and outdoor dining is active. Ms. Heller concluded by requesting denial of the application, stating that alternative locations exist that are better suited to high-intensity restaurant use.

**Greg Norsigian, speaking on behalf of the Estate of Alice Norsigian, 43 Robbinswood Drive,** spoke in opposition and stated his agreement with prior speakers, emphasizing concerns related to noise, buffering, and screening impacts on nearby residences.

**Renee Morales, 675 Ridge Road,** spoke in support of the application. Ms. Morales stated that she and her family would like additional dining options in Wethersfield and that residents in mixed-use areas should reasonably expect nearby commercial activity. She expressed support for the restaurant.

**Kevin Sullivan, 79 Wright Road,** spoke in opposition. Mr. Sullivan stated that while Old Wethersfield is a popular destination, changes should be approached cautiously. He expressed concern about the scale of the proposal, parking impacts, and potential adverse effects on nearby residential properties.

**Paul Serbaniewicz, 26 Marsh Street,** spoke in opposition. Mr. Serbaniewicz stated that while he lives near an existing restaurant, that location benefits from a larger buffer zone. He stated that the proximity of the proposed restaurant to neighboring homes at 184 Main Street was unreasonably close and could push residential uses out of Old Wethersfield.

**Paul Brady, 16–18 Church Street,** spoke as a resident. Mr. Brady questioned how Old Wethersfield's historic character is defined and cautioned against modernizing the district in a way that undermines its historic identity.

**Khristina Surgeon, 16-18 Church Street,** spoke in opposition. Ms. Surgeon expressed concern about restaurant concentration, parking shortages, safety impacts, noise, late-night disturbances, and impacts on families with children. She emphasized that increased restaurant density threatens the historic district's residential character and preservation goals.

Seeing no further speakers, Chairman Hammer closed public comment and invited the applicant to respond.

Attorney Brian Silver, on behalf of the applicant 3E Main LLC, addressed the Commission in rebuttal.

Attorney Silver stated that the applicant understood and did not minimize the concerns raised by neighboring residents, acknowledging that the introduction of a new business adjacent to residential properties can raise legitimate issues. He emphasized that the property at 184 Main Street is located within the Village Business District and has historically functioned as a commercial use, most recently as a commercial bed and breakfast.

Attorney Silver stated that the proposed restaurant use is intended to be compatible with surrounding commercial uses along Main Street and within the Village Business District. He noted that the property is directly across from other businesses and public facilities and is located within an area that allows mixed commercial and residential activity.

With respect to concerns regarding surveys and property boundaries, Attorney Silver stated that the application materials included a recent professional survey completed within the past year and that the application was not relying on a historic or outdated survey. He stated that the survey had been prepared by a licensed surveyor and was included in the submission materials.

Regarding buffering and screening, Attorney Silver stated that the applicant had appeared before the Historic District Commission multiple times and that buffering, fencing, landscaping, and exterior improvements were reviewed in detail and approved by that body. He stated that the applicant was willing to provide additional buffering or screening if required by the Planning and Zoning Commission, subject to further Historic District Commission approval.

Attorney Silver also addressed a letter submitted in opposition that included photographs, stating that, in the applicant's view, at least some of the photographs appeared to depict a different property rather than 184 Main Street. He requested that the Commission consider this clarification when reviewing the record.

Attorney Silver stated that the applicant did not have further comments at that time.

Vice Chairman Leombruni motioned **"TO CLOSE THE PUBLIC HEARING"** Seconded by Commissioner Brechlin.

Commission members discussed whether the application satisfied the threshold requirements of Article 8, focusing on intensity of use, neighborhood compatibility, and parking adequacy.

Multiple commissioners expressed concern that the proposed restaurant represented a substantial increase in intensity compared to the prior bed-and-breakfast use. Commissioners noted the proximity of the service driveway, mechanical equipment, and ADA parking spaces to adjacent residential structures, stating that these conditions raised concerns that could not be mitigated through engineering revisions alone.

Commissioners discussed the lack of on-site parking and reliance on public parking facilities, noting that the Keeney Memorial Center parking lot is frequently fully utilized during events and peak seasons. Several members expressed concern that approving the application would further oversubscribe public parking and establish a precedent for future applications seeking parking waivers without secured alternatives.

Commissioners also discussed neighborhood impacts, including noise, traffic circulation, deliveries,

refuse collection, and late-night activity, and stated that these impacts would directly affect nearby residences due to the limited buffer distances.

Several commissioners stated that even with potential conditions, they did not believe the Commission could confidently make the affirmative findings required under Article 8 regarding no adverse effect, compatibility with neighborhood character, and adequacy of the site for the proposed intensity of use.

While acknowledging the applicant's investment and effort, commissioners stated that the proposal's scale/intensity, insufficient parking, inability to adequately mitigate impacts through conditions, and over all location made it difficult to reconcile with the mixed-use residential nature of Old Wethersfield.

Commissioner Homicki motioned to “**APPROVE SPECIAL PERMIT APPLICATION #2225-25-Z FOR A CHANGE OF USE AT 184 MAIN STREET, CONVERTING THE PROPERTY FROM A BED AND BREAKFAST TO A RESTURANT WITH OURDOOR DINING, SUBMITTED AS PRESENTED BY 3E MAIN LLC.**” Seconded by Vice Chairman Leombruni.

**Vote:** All members including the Chairperson voted. The motion was **DENIED** 0-0-9.

**2.2 Modification to Special Permit, #2104-22-Z,** 245 Main Street, seeking a Change of Use to Professional Office and Personal Services, and Parking Reduction and Modification, per sections 10.1.C.13, 10.1.D.E, and 6.2.C, D, submitted by 245 Old Wethersfield LLC.

Attorney Matt Cholewa, Talcott Law Group, PC, Farmington, CT, representing the applicant, 245 Wethersfield LLC appeared on the record. Attorney Cholewa introduced the project team also present:

- **Nick Roman**, principal of 245 Wethersfield LLC and property owner
- **Raymond Malinowski**, Indigo Land Design, Civil Project Engineer
- **Julie McCary**, owner of Do's and Dye Hair Salon, West Hartford, CT and prospective tenant

Attorney Cholewa summarized the application, stating that the building at 245 Main Street (constructed circa 1922) has historically supported assembly-type use with significant parking. The property currently holds an approved brew pub use under a prior special permit/site plan; that approval contemplated first-floor use (with some basement use) and required approximately 47 parking spaces, despite only three spaces being provided on-site. The prior approval also included a note that the second floor could not be used until further commission approval.

Attorney Cholewa explained that the applicant is seeking a less intensive use than the previously approved brew pub, proposing a mix of professional office and personal service uses across all three floors. Under the current proposal, the total parking requirement is reduced from 47 to 38 spaces (a reduction of nine spaces). To support the plan, the applicant proposes increasing on-site parking from three to six spaces, achieved by removing the existing garage and replacing it with a paver patio/parking area, which also reduces site intensity and improves openness.

The applicant has also executed an off-site parking agreement with the owner of 304 Main Street (Hart Seed) for 33 off-site spaces, referenced in the application narrative. Attorney Cholewa noted that Historic District Commission (HDC) approval is pending; the applicant has met informally with HDC

multiple times and incorporated feedback into the plan, and the applicant is prepared to accept HDC approval as a condition of approval if required.

Attorney Cholewa then invited Mr. Malinowski up to the podium to go through the plan, emphasizing what has changed from the prior approval.

Mr. Malinowski oriented the Commission to the site (Main Street to the east; Church Street to the south; nearby residential zoning to the west). He described key changes from the previously approved plan, including:

- Removal of the three-bay garage and replacement with paver patio/parking, enabling six on-site spaces.
- Confirmation that 33 off-site spaces are available through the Heart Seed agreement, consistent with the plan's overall parking approach.
- Changes to buffering: removal of certain fence lines and reliance on a dense vegetative buffer, with additional screening elements proposed (including fencing and plantings around the handicap lift, AC units, and trash receptacles).
- Stormwater: retention of previously approved dry wells, reduced impervious coverage, and improved infiltration consistent with low-impact development goals.
- Lighting: submission of a lighting plan indicating no illumination trespass at property lines (zero foot-candles at boundaries) and fixtures styled to match the Village District aesthetic.

Vice Chairman Leombruni then asked about the handicap lift location, noting it had previously been proposed in front and now appeared relocated. Mr. Malinowski explained the earlier plan utilized handicap parking spaces in replacement of existing street parking spaces, which is no longer proposed; the plan now provides the required handicap space on-site, designed to meet ADA accessibility requirements, and the lift location toward Main Street was no longer necessary, with the lift now proposed toward the south side for better access. Mr. Roman added the lift location also corresponds to the interior elevator/ADA-compliant access being on the back side of the building.

Vice Chairman Leombruni asked about building exterior conditions (flaking paint/cornice) and whether refurbishment is planned. Mr. Roman stated the exterior would be addressed, including wood windows and a full repaint/remodel to maintain the appearance of the historic building.

Vice Chairman Leombruni asked about the purpose of four outdoor tables given the proposed uses. Mr. Roman stated the tables are intended to create a more welcoming community feel, provide seating, and complement the streetscape; he also referenced HDC feedback that a larger patio previously proposed was unlikely to be approved and that the plan was reduced from approximately eight tables to four.

Vice Chairman Leombruni asked whether the applicant would redo front steps/railing and address columns. Mr. Roman stated the front improvements would be new while attempting to repair existing columns, with like-for-like replacement if repair is not feasible.

Commissioner Thompson asked whether there would be changes to the front parking/trees. The applicant stated there is no plan to touch the trees, and no change to existing conditions was proposed in that regard.

Commissioner Thompson asked whether any food service might be contemplated in the future. Mr. Roman stated they are open to ideas generally but that food service is not contemplated, noting it would not be compliant given the parking constraints.

Chairman Hammer asked whether a formal HDC application had been submitted; the applicant stated not yet for these plans but intended to submit immediately after the meeting, hoping to be on an agenda in early February.

Commissioner Gionfriddo asked how the applicant would ensure customers and employees use the Heart Seed parking. The applicant stated they would request employees park there and attempt to include it in leases; they acknowledged customer parking cannot be fully controlled but agreed to provide signage indicating additional parking availability.

Chairman Hammer requested further detail regarding the uses by floor. Attorney Cholewa stated there is a signed tenant for the second floor (personal services), with the first floor intended for professional/office use, and the basement also intended for professional/office use. When asked about a reference to “medical office,” the applicant stated they were not requesting medical office and that professional office was intended, noting a higher-parking-demand use would require returning to the Commission.

Chairman Hammer asked for clarifications on parking calculations. Mr. Malinowski then explained that zoning data table included professional office use at four spaces per 1,000 square feet and personal services at five spaces per 1,000 square feet, and noted each floor was presented as approximately 2,548 square feet, resulting in a total parking requirement presented as 39 spaces, with six on-site and 33 off-site.

Vice Chairman Leombruni asked about anticipated hours of operation, and the applicant stated office uses would generally be weekday business hours (approximately 8:00 a.m. to 5:00/5:30 p.m.) with limited weekend activity, and that personal services may include later evening hours.

Commissioner Brechlin questioned the dimensions of accessible parking, referencing state code and the plan detail. Mr. Malinowski clarified the plan includes a van-accessible space and aisle consistent with the applicable accessibility detail shown on the plan sheets.

Mr. Cholewa then invited up Ms. Julie McCary to the podium to speak.

Julie McCary stated she lives in town, has two young children, and described her salon as a welcoming, community-oriented business specializing in color and wedding hair. She described small group events such as “mommy and me” hair classes and styling/makeup classes, stating these are small-scale and typically six participants or fewer. She stated the plan is to have four styling chairs, and the larger space would allow a bridal suite for wedding preparation groups, noting bridal parties often carpool. She stated she currently operates in West Hartford with three parking spaces without issue and stated she intends to commute by electric bike when feasible. She described typical hours as Tuesday through Saturday, with two days per week open until approximately 7:00 p.m., other days ending around 4:00–5:00 p.m., Saturdays ending around 2:00 p.m., and closed Sundays and Mondays (with occasional wedding-related travel/appointments). In response to questions, she stated customers often communicate in advance, and she would direct them to the alternate lot if the on-site lot appears full; she also stated staff would plan to use the farther lot to preserve closer spaces for clients.

Attorney Cholewa then raised concern that Engineering Department comments were not prepared, and requested the Commission consider acting that evening, noting the application reduces intensity and building footprint and that engineering review previously found no issues with the earlier plan. The Chair invited staff response. Mr. Elder responded that drainage and other site details require engineer review, and that approving subject to engineering sign-off can place the Town Engineer in a difficult position if interpretations or changes arise after approval. Mr. Elder stated the site is a gateway location with significant visual impact and that multiple details are under discussion, and he also

indicated he had additional questions regarding uses and parameters, and that the Commission generally prefers clarity on operational parameters such as hours.

Chairman Hammer then asked if the applicant's team had any more information to present. Once hearing that there was none the Chair opened the floor up to public comment.

**Paul Brady, 16-18 Church Street**, stated his property abuts the subject property. He stated he had not had a full opportunity to discuss the application outside the hearing and that this was his first time seeing the application. He raised questions about the patio area and whether it involves town property, asked about the intended use of the patio given there is no food service proposed, questioned feasibility of the stated March 1, 2026 timing, and requested clarification on dumpster/trash placement and other plan elements. He stated he felt the application appeared rushed and would benefit from more time to be put together.

**Kevin Sullivan, 79 Wright Road**, stated he is also a member of BikeWalk Wethersfield. He stated the proposal appears a better fit for Old Wethersfield in terms of intensity of use. He raised pedestrian and bicycle safety comments regarding the proposed driveway/curb cut, stating driveway crossings function like intersections and that shorter crossing distances and a potential single-lane configuration may improve safety. He also recommended sharper corner radii to discourage speeding and suggested daylighting near the driveway to improve visibility. He noted the driveway may reduce on-street parking by two to three spaces and expressed concern regarding overall on-street parking capacity.

**Khristina Surgeon, 16-18 Church Street**, stated objections based on parking inadequacy, intensity of use, and concerns regarding representations in the application about neighbor discussions. She raised concerns about snow removal impacts, drainage feasibility, driveway safety, and impacts to neighboring properties. She stated the application proposes three commercial uses across three floors (professional offices, beauty salon, and a lower-level office use), and questioned how the total parking requirement is less than the previously approved brew pub parking requirement given the expanded building footprint and layered uses. She stated the plan relies predominantly on off-site parking, with 33 spaces off-site and six on-site, and raised concerns about spillover impacts. She expressed concern that bridal-related activity and event-style uses could increase parking demand, traffic, noise, and pedestrian activity. She requested additional detail regarding snow storage/removal and drainage management during heavy rain and snowmelt, and stated concerns about driveway configuration and potential conflicts. She also stated that no finalized agreement regarding vegetative buffering had been reached from her perspective and requested further discussion and finalized plans.

The Chair then offered the applicant and/or their team to rebuttal.

Attorney Cholewa stated the building has existed for over 100 years and characterized the proposal as among the least intense uses for the property. He stated the applicant is willing to continue discussions with neighbors regarding buffering and noted there may not have been a meeting of the minds. He stated there is no immediate proposal affecting the public right-of-way as had been suggested, and thanked the Commission.

Commissioner Roberts motioned to **“TO CONTINUE THE PUBLIC HEARING TO THE NEXT PLANNING AND ZONING MEETING ON JANUARY 21, 2026”**, which was seconded by Vice Chairman Leombruni.

**3. NEW BUSINESS – None**

**4. OTHER BUSINESS**

#### 4.1 Bond Reduction-Reservoir Estates, Phases 1,2, &3

The Commission was advised by the Town Planner that the Town Engineer issued a memorandum dated December 11, 2025, recommending a reduced bond amount. The memorandum had been provided to the developer, and no objections were raised. The Town Planner also stated that this was not the first bond reduction for the project, noting that it was believed to be the third or fourth bond reduction request related to Reservoir Estates. He also indicated that the Town Engineer was comfortable with the recommended reduction, subject to Commission approval.

Vice Chairman Leombruni motioned to **“APPROVE THE BOND REDUCTION FOR THE RESERVIOR ESTATES, PHASES 1, 2, AND 3, IN ACCORDANCE WITH THE TOWN ENGINEER’S MEMORANDUM DATED DECEMBER 11, 2025”**, which was then seconded by Commissioner Dean.

#### 4.2 Pre-Application-Consideration of Proposed Regulation to Permit Drive-Throughs in the Town Center (TC) Zone, Town of Wethersfield, Economic Development Director, Curt Leng

The Town Planner introduced an informal, non-binding pre-application discussion regarding potential consideration of drive-through uses in the Town Center (TC) Zone, presented on behalf of Economic Development Director Curt Leng.

The Town Planner explained that Mr. Leng has been engaging with business owners and has received multiple inquiries regarding the possibility of drive-through uses in the Town Center. He stated the TC Zone is a relatively small area along Silas Deane Highway, generally between Wells Road and Church Street. He then mentioned that drive-throughs are currently permitted in other zones, including the General Business and Regional Commercial zones.

The purpose of the discussion was to gauge whether the Commission had any interest in considering:

- A zoning text amendment
- Or any future proposal related to drive-throughs in the TC Zone

The Town Planner emphasized that:

- This was not an application
- No draft regulation was being proposed
- The discussion was intended solely to obtain preliminary Commission feedback

Commission members discussed the issue at length, raising the following points:

The Town Center Zone has a long planning history and is intended to serve as a pedestrian-oriented community focal point

The purpose statement of the TC Zone emphasizes:

- Walkability
- Community character
- Enhancement of ambiance
- Drive-through uses were viewed by several members as potentially inconsistent with that purpose
- The Silas Deane Vision Plan identifies the TC Zone as a gateway area and starting point for

pedestrian and streetscape improvements

- Drive-throughs already exist in significant numbers along the Silas Deane Highway
- It was noted that approximately 22 drive-throughs exist between Jordan Lane and Town Line Road
- Concerns were raised regarding:
  - Traffic impacts
  - Stacking requirements (approximately 15 vehicles)
  - Proximity to residential zones
  - Limited parcel sizes in the TC Zone
  - Several members recalled prior proposals, including:
    - A denied zoning text amendment
    - A conceptual proposal involving a car wash
    - Past Commission reluctance to alter the TC Zone due to its limited size and importance

Some discussion acknowledged that, in theory, parcel assemblage could make a drive-through feasible on a limited basis, but that any such proposal would require strict controls and case-by-case review.

Commissioner Thompson clarified that allowing drive-throughs only by special permit would provide the Commission greater discretion and control, which the Town Planner confirmed to be correct.

The Commission generally expressed reluctance to consider drive-through uses in the Town Center Zone, citing consistency with long-standing planning goals and the pedestrian-oriented nature of the district.

The Town Planner stated that he would relay the Commission’s feedback to the Economic Development Director and that no further action was being taken at this time.

## 5. MINUTES

### 5.1 December 16, 2025

Commissioner Homicki motioned **“TO APPROVE THE DECEMBER 16, 2025 MEETING MINUTES AS SUBMITTED.”** Seconded by Commissioner Gionfriddo.

**Vote:** All members including the Chairperson voted. The motion **PASSED** 9-0-0.

## 6. PUBLIC COMMENTS (ON NON-AGENDA ITEMS) – None

## 7. CORRESPONDENCE – None

## 8. STAFF REPORTS – None

The Town Planner provided a brief update, noting:

- The Plan of Conservation and Development (POCD) public hearing remains open until February to allow time for CRCOG comments
- A public hearing for adoption of the POCD and Affordable Housing Plan is anticipated at a February meeting
- The statutory requirement for the Affordable Housing Plan has been repealed, though adoption may still proceed

## **9. APPLICATIONS TO BE HEARD AT NEXT PZC MEETING – January 21, 2026**

**9.1 Public Hearing #2223-25-Z**, 1000 Silas Deane Highway, seeking a Special Permit in accordance with Section 5.14 of the Wethersfield Zoning Regulations for the adaptive re-use of industrial building for Warehouse Supermarket use. (Continued to 1-21-2026)

**9.2 Modification to Special Permit, #2104-22-Z**, 245 Main Street, seeking a Change of Use to Professional Office and Personal Services, and Parking Reduction and Modification, per sections 10.1.C.13, 10.1.D.E, and 6.2.C, D, submitted by 245 Old Wethersfield LLC. (Continued to 1-21-2026)

## **10. ADJOURNMENT**

Vice Chairman Leombruni motioned **“TO ADJOURN THE MEETING.”** Seconded by Commissioner Homicki.

**Vote:** All members including the Chairperson voted. The motion **PASSED** 9-0-0.

Respectfully Submitted,

Kassandra Felipe, Recording Secretary